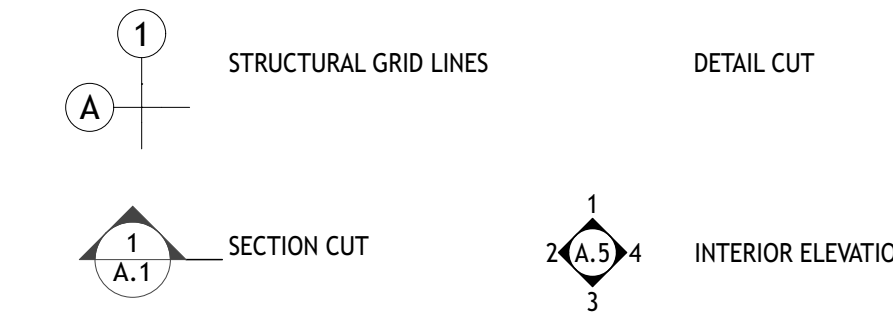


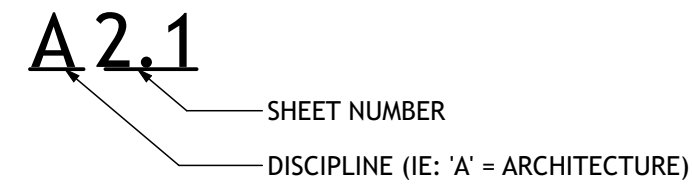
HATCH LEGEND

	ALUMINUM		CONTINUOUS LUMBER
	STEEL		PLYWOOD
	BATT INSULATION		GRANULAR MATERIAL
	RIGID INSULATION		EARTH
	CMU		CONCRETE
	BRICK		CMU GROUTED SOLID
	EIFS		GYPSUM BOARD

SYMBOLS



SHEET NUMBER LEGEND



ABBREVIATIONS

BLKG	BLOCKING	PT.	PRESSURE TREATED
BOT.	BOTTOM	PLWD	PLYWOOD
CONC.	CONCRETE	REF.	REFER
CONT.	CONTINUOUS	REQD	REQUIRED
CU. FT.	CUBIC FEET	SCHED	SCHEDULE
DIA.	DIAMETER	S.F.	SQUARE FEET
DWGS	DRAWINGS	S.S.	STAINLESS STEEL
(E)	EXISTING	STD	STANDARD
EA.	EACH	STL	STEEL
EN.	END NAIL	SQ.	SQUARE
EQ.	EQUAL	T&B	TOP & BOTTOM
EXT.	EXTERIOR	T&B	TO BE DETERMINED
FDTN	FOUNDATION	TYP.	TYPICAL
FT.	FEET OR FOOT	U.N.O.	UNLESS NOTED OTHERWISE
GYPBD	GYPSUM WALLBOARD	VERT.	VERTICAL
IN.	INCH	VIF	VERIFY IN FIELD
INT.	INTERIOR	WD	WOOD
LG	LONG	W/	WITH
MAX.	MAXIMUM		
MIN.	MINIMUM		
MTL	METAL		
(N)	NEW		
O/	OVER		
O.C.	ON CENTER		

TEXT COLOR INDICATORS

THE FOLLOWING COLORS OF TEXT INDICATE THE DESCRIBED TYPE OF NOTE / QUESTION:

- CLIENT NOTES / QUESTIONS
- STRUCTURAL NOTES / QUESTIONS
- MEP NOTES / QUESTIONS
- LANDSCAPE NOTES / QUESTIONS
- CIVIL NOTES / QUESTIONS

GENERAL NOTES

1.01 ALL CONSTRUCTION WORK SHALL MEET OR EXCEED THE LATEST EDITION OF THE FOLLOWING CODES AS APPLICABLE AND AS ADOPTED BY THE LOCAL GOVERNING AGENCIES:

- 2019 CALIFORNIA BUILDING CODE (2018 IBC)
- 2019 CALIFORNIA FIRE CODE (2018 IFC)
- 2019 CALIFORNIA MECHANICAL CODE (2018 UMC)
- 2019 CALIFORNIA PLUMBING CODE (2018 UPC)
- 2019 CALIFORNIA ELECTRICAL CODE (2017 NEC)
- 2019 ENERGY EFFICIENCY STANDARD (TITLE 24)
- 2019 GREEN BUILDING CODE (TITLE 24)

1.02 THE GENERAL CONTRACTOR SHALL MAINTAIN THE CURRENT AND COMPLETE SET OF APPROVED CONSTRUCTION DOCUMENTS ON THE SITE AT ALL TIMES IN A SECURE LOCATION.

1.03 THE GENERAL CONTRACTOR SHALL PROVIDE COPIES OF THE APPROVED CONSTRUCTION DOCUMENTS FOR THE USE OF ALL TRADES AND SHALL PROVIDE THEM TO ALL SUBCONTRACTORS, WITH UPDATES AND APPROVED CHANGES AS REQUIRED AND NECESSARY.

1.04 THE GENERAL CONTRACTOR SHALL VERIFY ALL MEASUREMENTS SHOWN ON THESE DRAWINGS PRIOR TO COMMENCING ANY WORK OR ORDERING ANY MATERIAL.

1.05 PROJECT DIMENSIONING STANDARDS:
 1. ALL DIMENSIONS ARE MEASURED FROM THE FACE OF THE EXISTING FINISH FOR EXISTING WALLS;
 2. FACE OF EXTERIOR PLYWOOD FOR NEW EXTERIOR WALLS;
 3. FACE OF STUD FOR NEW INTERIOR WALLS; AND
 4. CENTER OF COLUMN OR OPENING, FACE OF CABINET, OR GRIDLINES.

MAINTAIN DIMENSIONS MARKED AS CLEAR, ALLOWING FOR THICKNESS OR MOUNTING OF FINISHES.

WHEN TIEING INTO (E) CONDITIONS, (N) AND (E) FINISHES SHOULD ALIGN, WHICH GOVERN ACTUAL DIMENSIONS.

GC TO CONFIRM LOCATION OF GRIDLINES IN FIELD AND ADVISE ARCHITECT OF ANY VARIANCE.

1.06 DO NOT SCALE THE DRAWINGS. THE DIMENSIONS SHOWN SHALL SUPERSEDE THE SCALE OF THE DRAWINGS.

1.07 ANY DISCREPANCY IN DIMENSIONS OR CONFLICT IN PLANS OR FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONTINUANCE OF THE WORK IN THE AFFECTED AREA. IF THE WORK IS CONTINUED IN THE AFFECTED AREA, WITHOUT INSTRUCTION OR CLARIFICATION BY THE ARCHITECT, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY RESULTANT DEFECT, DAMAGE OR CHANGE REQUIRED.

1.08 AT JOB COMPLETION, PRIOR TO SUBMITTING THE REQUISITION FOR FINAL PAYMENT, THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH A REDLINED SET OF PRINTS SHOWING AS-CONSTRUCTED CONDITIONS.

1.09 THE GENERAL CONTRACTOR SHALL PROVIDE PROPER CONTAINERS ON THE JOB SITE TO ASSURE CONTINUOUS RECYCLING OF MATERIALS.

1.10 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING SUBCONTRACTORS AND ASSUMING THEIR COMPLIANCE WITH THE RECYCLING PROGRAM.

1.11 NFRC LABELS MUST REMAIN ATTACHED TO THE GLAZING UNTIL THE INSULATION INSPECTION BY PROPER AUTHORITIES IS COMPLETED.

GREEN BUILDING NOTES

2.01 CONTRACTOR SHALL RETAIN ALL WASTE HAULING RECEIPTS FOR INSPECTOR. RECEIPTS MUST INDICATE 65% SEPARATED, RECYCLABLE MATERIALS. ALL CREDITED WASTE HAULING RECEIPTS MUST INDICATE THE MATERIAL RECYCLED, AND CANNOT INDICATE "PUBLIC REFUSE" or "UNPROCESSED C&D"

2.02 INVENTORY, DECLARE, AND OBTAIN DOCUMENTATION OF PROPER HAZARDOUS WASTE DISPOSAL FOR ANY UNIVERSAL WASTE MATERIALS WITH THE SCOPE OF WORK AREA. RETAIN DOCUMENTATION FOR INSPECTOR.

2.03 PROHIBITED UNIVERSAL WASTE MATERIAL AS DEFINED IN CALGREEN SECTION 202 INCLUDING BATTERIES, ELECTRONIC DEVICES, MERCURY-CONTAINING EQUIPMENT, LAMPS, CATHODE RAY TUBES, CATHODE RAY TUBE GLASS, AND AEROSOL CANS.

2.04 ALL PAINT, COATINGS, SEALANTS, CAULKINGS, ADHESIVES, COMPOSITE WOOD PRODUCTS, AND ANY OTHER MATERIALS COVERED IN CAL GREEN REQUIREMENTS MUST CONFORM TO CAL GREEN MANDATORY MEASURES. CONTRACTOR TO PROVIDE DOCUMENTATION AS REQUIRED BY INSPECTOR.

2.05 PRIOR TO PERMIT ISSUANCE CONTRACTOR TO COMPLETE AND SUBMIT THE RELEVANT CONSTRUCTION WASTE MANAGEMENT PLAN WHERE APPLICABLE.

2.06 FOR HOMES BUILT PRIOR TO 1994, CA CIVIL CODE SECTION 1101.4 REQUIRES ALL NON-COMPLIANT PLUMBING FIXTURES TO BE UPGRADED TO MEET CURRENT GREEN BUILDING CODE SECTION 4.303 WATER EFFICIENCIES WHEN ANY APPLICABLE BUILDING PERMIT IS OBTAINED. THEREFORE, EXISTING NON-COMPLIANT FIXTURES THROUGHOUT THE HOME EVEN WHERE NO OTHER WORK IS PROPOSED MUST HAVE WATER EFFICIENT FIXTURES INSTALLED TO FINAL THIS PERMIT. NON-COMPLIANT FIXTURES WOULD BE DEFINED AS: TOILETS > 1.6 GAL/ FLUSH, SHOWER HEADS > 2.5 GAL/MIN, AND ANY FAUCETS > 2.2 GAL/MIN.

PROJECT DIRECTORY

OWNER / CLIENT	CHRIS COTTINGHAM 8705 HWY 9 BEN LOMOND, CA 95005 CONTACT: VETERANS MEMORIAL BUILDING SANTA CRUZ, CA 95060 PH: (650) 303-8221 EMAIL: director@vetshall.org
ARCHITECT	NIELSEN STUDIOS 228 B FERN ST., SANTA CRUZ, CA 95060 CONTACT: CHRISTIAN NIELSEN PH: (831) 621-3926 FAX: (925) 287-0666 EMAIL: cnielsen@nielsenarchitects.com
PROJECT MANAGER/ PROJECT LEAD	SWIFT CONSULTING SERVICES, INC 500 CHESTNUT ST., STE. 100, SANTA CRUZ, CA 95060 CONTACT: DANIEL SAPHORGHAN PH: (831) 459-9992 FAX: (831) 459-9998 EMAIL: daniel@swiftconsultingservice.com
STRUCTURAL ENGINEER	BROCK DICKIE ENGINEERING 502 FREDERICK STREET, SANTA CRUZ, CA 95062 CONTACT: BROCK DICKIE PH: (408) 410-5336 EMAIL: bd@brockdickie.com
CIVIL & ENVIRONMENTAL ENGINEER	SHERWOOD ENGINEERS 1525 SEABRIGHT AVE, SANTA CRUZ, CA 95062 CONTACT: ROBYN COOPER EMAIL: rcooper@sherwoodengineers.com
SURVEYOR	EDMUNDSON LAND SURVEYING 1512 SEABRIGHT AVE, SANTA CRUZ, CA 95062 CONTACT: OLIN EDMUNDSON PH: (831) 425-1796 EMAIL: olin@edmundsonsurveys.com
GEOTECHNICAL ENGINEER & GEOLOGY	CAL ENGINEERING & GEOLOGY 6455 ALMADEN EXPY # 100, SAN JOSE, CA 95120 CONTACT: KEVIN LOEB D: (925) 433-2302 M: (510) 468-4151 O: (408) 440-4542 EMAIL: kloeb@caleng.com
NEPA/ AFFORDABLE HOUSING CONSULTANT/ NOISE CALCULATIONS & EXPLOSIVE HAZARD CALCULATIONS	R.L. HASTINGS & ASSOCIATES, LLC CONTACT: ROY HASTINGS PH: (916) 397-6795 EMAIL: roy@rthastings.com

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A1.2	CABIN 2 & 4 EXISTING-DEMO & PROPOSED FIRST FLOOR PLAN
A1.3	CABIN 5 & 6 EXISTING-DEMO & PROPOSED FIRST FLOOR PLAN
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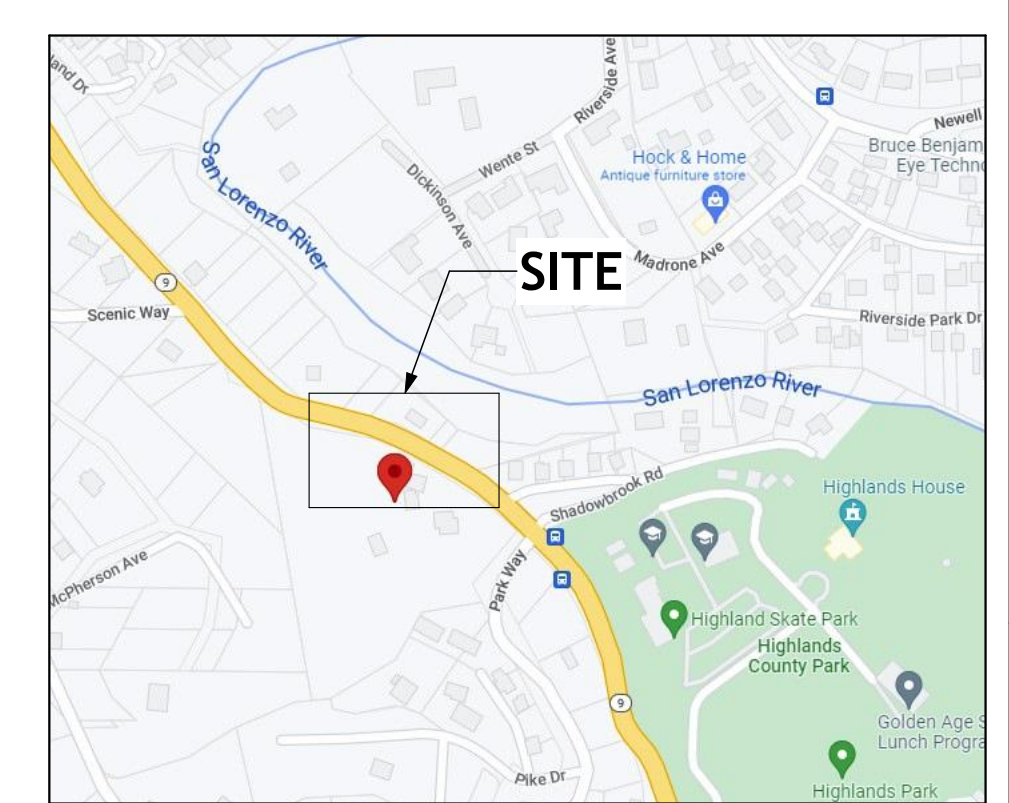
PROJECT DATA

APN:	078-273-15
ZONING DISTRICT:	VA
CONSTRUCTION TYPE:	V-B SPRINKLERED
SITE AREA:	226,773.365F (5.2060 Ac)
OCCUPANCY:	HOUSE: R-3 GARAGE CONVERSION (3 UNITS + LEASING OFFICE + LAUNDRY (INCIDENTAL USE)); R-2 & B CABINS + MODULARS: R-3 TBD

PROJECT DESCRIPTION

ACQUISITION, REHABILITATION, AND CONVERSION OF AN EXISTING MOTEL PROPERTY WITH 1 EXISTING SINGLE-FAMILY HOME AND 10 MOTEL CABINS IN A COMMERCIAL "VISITOR ACCOMMODATIONS" (VA) ZONE, INTO A 20-UNIT "HOMEKEY" PERMANENT SUPPORTIVE HOUSING PROJECT TO BE FUNDED BY THE CALIFORNIA HOMEKEY ROUND 2 GRANT PROGRAM AUTHORIZED BY AB 140 OF 2021. THE PROJECT ALSO INCLUDES INSTALLATION OF SIX NEW, 1-BEDROOM MODULAR DWELLING UNITS ON THE SITE, REMODEL & ADDITION TO AN EXISTING 3-CAR GARAGE CONVERTING IT INTO (3) 1 BR UNITS LEASING OFFICE + LAUNDRY. GARAGE IS CONSIDERED NEW CONSTRUCTION AS IT WAS NEVER PERMITTED.

VICINITY MAP



nielsen studios
 ARCHITECTURE + DESIGN
 228-B Fern Street Santa Cruz 831 621 3926
 1727 64th Street Emeryville 925 324 4247
 info@nielsenarchitects.com
 www.nielsenarchitects.com

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE RESULTS OF A BUILDING PERMIT SHALL NOT BE CONSIDERED AS A GUARANTEE THAT ALL REQUIREMENTS ARE MET. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PERMITS AND REGULATIONS, LAWS AND CODE REQUIREMENTS, ARE MET.

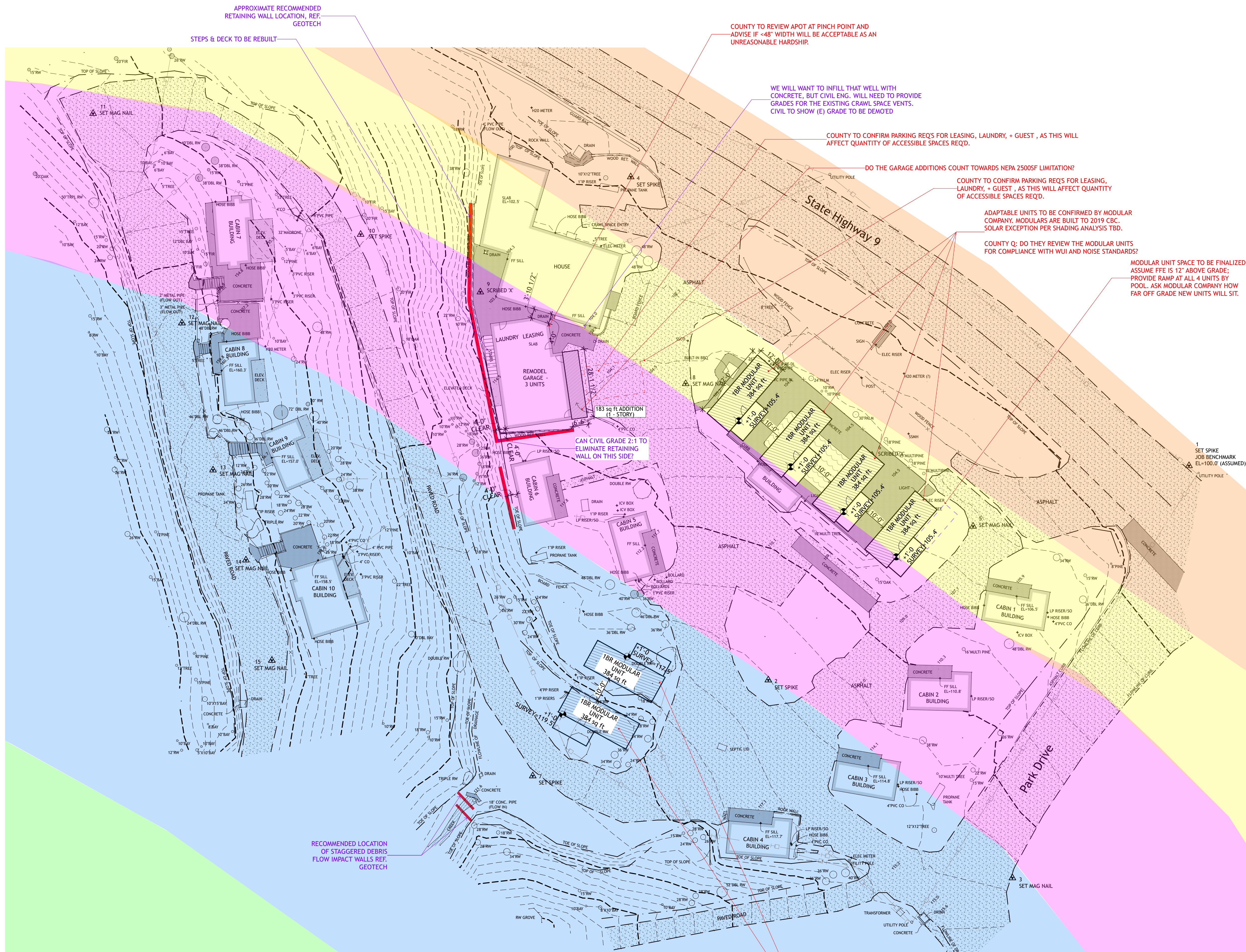
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BY	REVISIONS	Date
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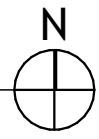
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Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
G0.1
 Plotted On: 5/26/22

COVER SHEET



1. SITE TOPO BASE PLAN
SCALE: 1" = 20'



COUNTY TO REVIEW APOT AT PINCH POINT AND ADVISE IF <48" WIDTH WILL BE ACCEPTABLE AS AN UNREASONABLE HARDSHIP.

WE WILL WANT TO INFILL THAT WELL WITH CONCRETE, BUT CIVIL ENG. WILL NEED TO PROVIDE GRADES FOR THE EXISTING CRAWL SPACE VENTS. CIVIL TO SHOW (E) GRADE TO BE DEMO'ED

COUNTY TO CONFIRM PARKING REQ'S FOR LEASING, LAUNDRY, + GUEST , AS THIS WILL AFFECT QUANTITY OF ACCESSIBLE SPACES REQ'D.

DO THE GARAGE ADDITIONS COUNT TOWARDS NEPA 2500SF LIMITATION?

COUNTY TO CONFIRM PARKING REQ'S FOR LEASING, LAUNDRY, + GUEST , AS THIS WILL AFFECT QUANTITY OF ACCESSIBLE SPACES REQ'D.

ADAPTABLE UNITS TO BE CONFIRMED BY MODULAR COMPANY. MODULARS ARE BUILT TO 2019 CBC. SOLAR EXCEPTION PER SHADING ANALYSIS TBD.

COUNTY Q: DO THEY REVIEW THE MODULAR UNITS FOR COMPLIANCE WITH WUI AND NOISE STANDARDS?

MODULAR UNIT SPACE TO BE FINALIZED. ASSUME FFE IS 12" ABOVE GRADE; PROVIDE RAMP AT ALL 4 UNITS BY POOL. ASK MODULAR COMPANY HOW FAR OFF GRADE NEW UNITS WILL SIT.

CAN CIVIL GRADE 2:1 TO ELIMINATE RETAINING WALL ON THIS SIDE?

ADAPTABLE UNITS TO BE CONFIRMED BY MODULAR COMPANY. MODULARS ARE BUILT TO 2019 CBC. SOLAR EXCEPTION PER SHADING ANALYSIS TBD.

COUNTY Q: DO THEY REVIEW THE MODULAR UNITS FOR COMPLIANCE WITH WUI AND NOISE STANDARDS?

SITE PLAN LEGEND

- (E) BUILDING AREA
- (N) BUILDING AREA
- ROOF ABOVE
- PROPERTY LINE
- SETBACK LINE
- (N) WALL / RETAINING WALL
- (E) CONTOUR
- (N) CONTOUR

- Gen'l Plan Noise Contours 2040**
- DNL 65 to 70 dB
 - DNL 55 to 60 dB
 - DNL 70 to 75 dB
 - DNL 60 to 65 dB
 - DNL 80 to 85 dB
 - DNL 75 to 80 dB

GENERAL NOTES

1. ALL EXISTING CONDITIONS TO REMAIN U.N.O.
2. REFER TO MEP DRAWINGS FOR UTILITY CONNECTIONS
3. CONTRACTOR TO PREVENT RUNOFF WITH EROSION CONTROL MEASURES AS REQUIRED DURING CONSTRUCTION
4. REFER TO CIVIL ENGINEER DRAWINGS FOR MORE INFORMATION REGARDING PARKING, GRADING, UTILITIES + ACCESSIBLE PATH OF TRAVEL
5. NOTE - GARAGE IS CONSIDERED NEW CONSTRUCTION AS IT WAS PREVIOUSLY UNPERMITTED
6. REFER TO GEOTECH REPORT FOR MORE INFORMATION

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

THE QUALITY OF A BUILDING FROM SHALL NOT BE CONSIDERED AS A GUARANTEE THAT ALL DEFECTS HAVE BEEN REVEALED IN THIS DOCUMENT. THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE ULTIMATELY RESPONSIBLE FOR ENSURING THAT THE PROJECT COMPLES WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
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Job:	22-10

DRG SUBMITTAL
A0.1
Plotted On: 5/26/22

SITE PLAN

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THE QUALITY OF A BUILDING PROJECT SHALL BE GUARANTEED AS A GUARANTEE THAT ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE GENERAL CONTRACT DOCUMENT. THE GENERAL CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR ENSURING THAT ALL WORKMANSHIP COMPLETES WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

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DRG SUBMITTAL

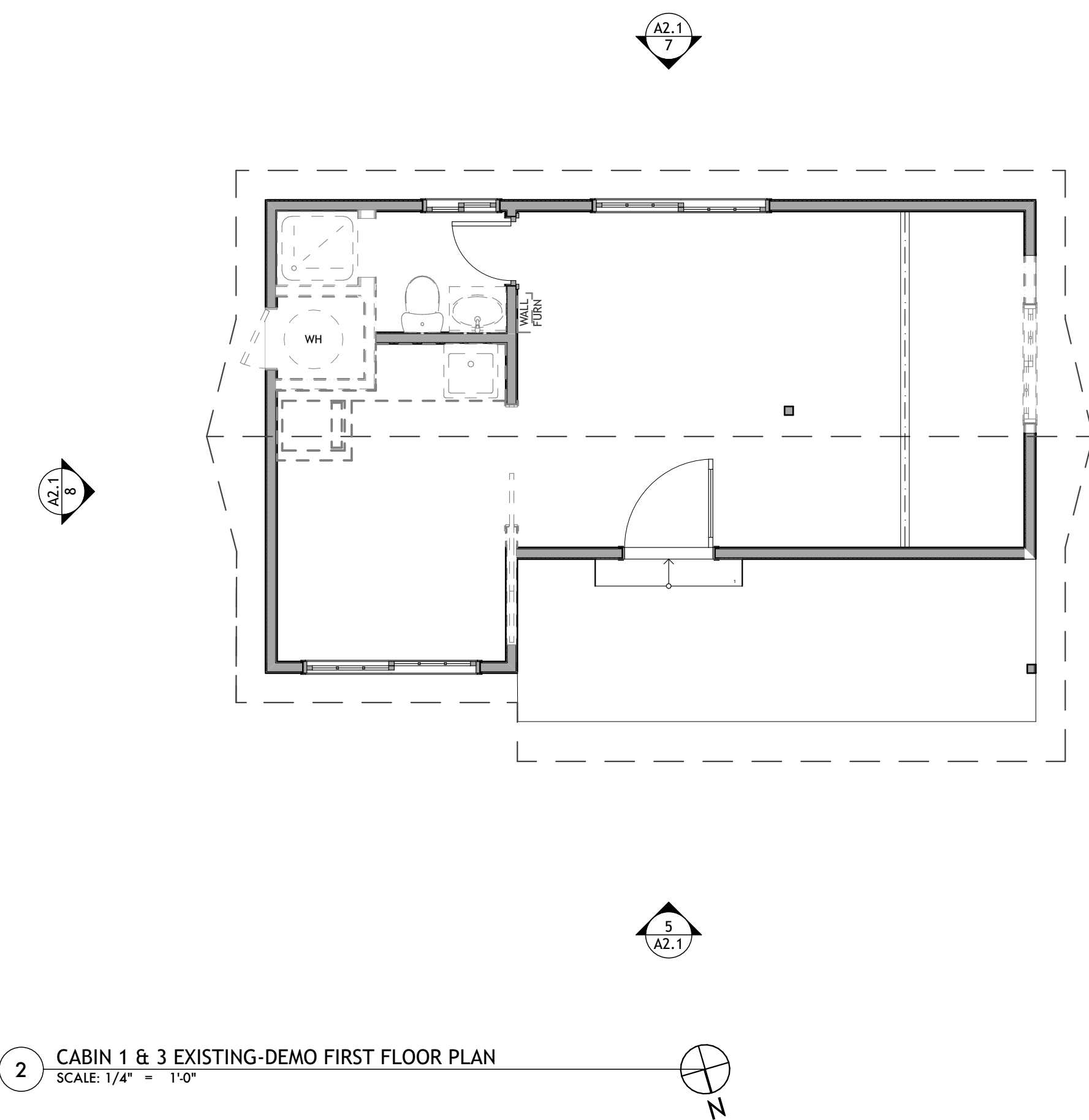
A1.1

Plotted On: 5/26/22

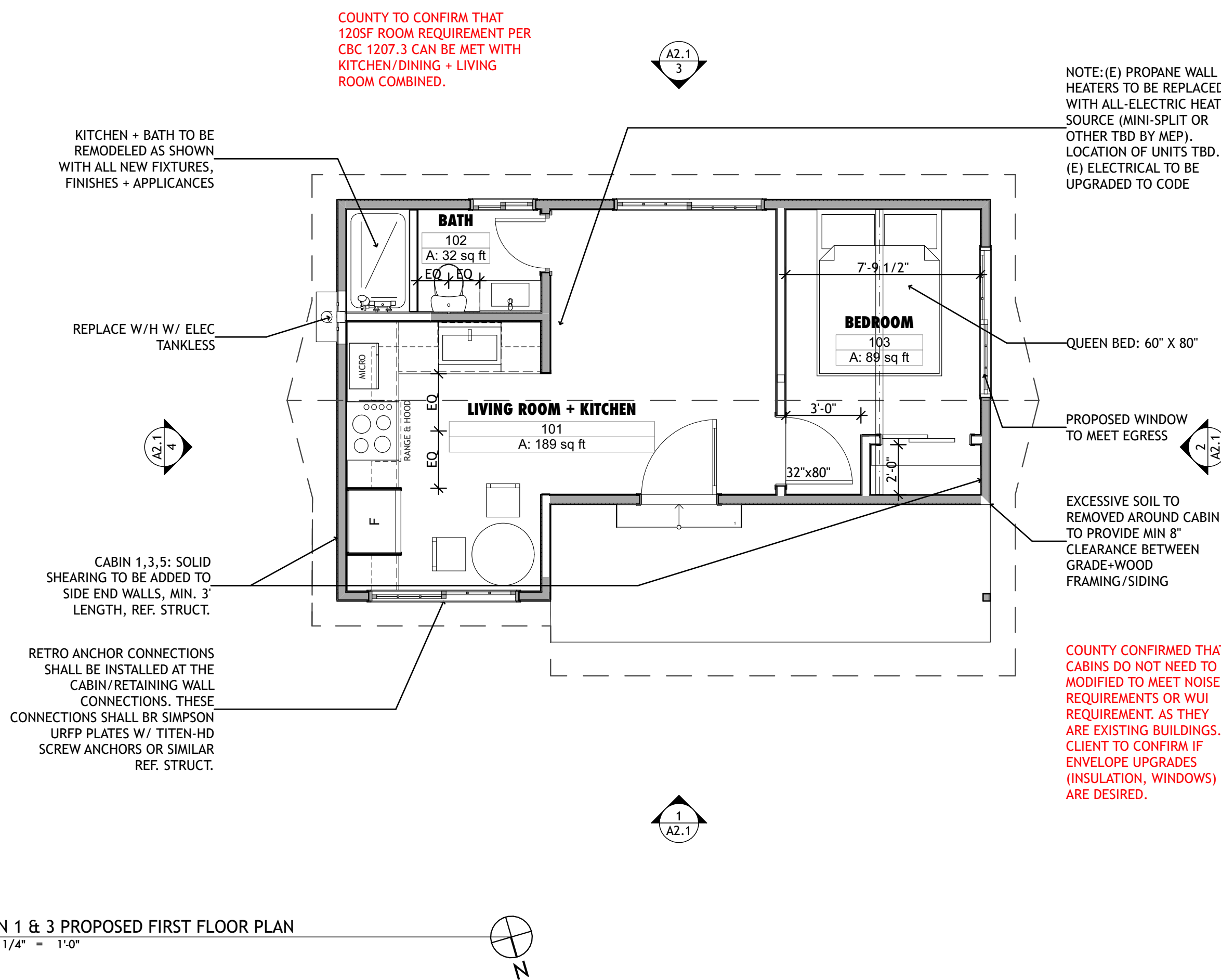
CABIN 1 & 3 EXISTING-DEMO & PROPOSED FIRST FLOOR PLAN

FLOOR PLAN LEGEND

- (E) WALLS TO BE REMOVED
 - (E) WALLS TO REMAIN
 - (N) WALL
 - (E) PARTIAL HEIGHT WALL
 - (N) PARTIAL HEIGHT WALL
 - (N) DIE WALL
 - 01 DOOR TAG - SEE SCHEDULE ON SHEET A6.1
 - 115 WINDOW TAG - SEE SCHEDULE ON SHEET A6.1
 - PT-1 WALL FINISH - SEE FINISH SCHEDULE
 - T-1 FLOOR FINISH - SEE FINISH SCHEDULE
 - SF-1 SPECIAL FINISH - SEE FINISH SCHEDULE
 - EQ EQUIPMENT TAG - SEE SCHEDULE ON SHEET #lay(D)(ref)
 - 04.01 KEY NOTE
 - RESIDENTIAL CODE NOTE, SEE SHEET #lay(D)(ref)
- | ROOM | ROOM NAME | ROOM NUMBER | AREA OF ROOM |
|------|-----------|-------------|--------------|
| 104 | | | 67 sq ft |



2 CABIN 1 & 3 EXISTING-DEMO FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 CABIN 1 & 3 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

COUNTY TO CONFIRM THAT 120SF ROOM REQUIREMENT PER CBC 1207.3 CAN BE MET WITH KITCHEN/DINING + LIVING ROOM COMBINED.

KITCHEN + BATH TO BE REMODELED AS SHOWN WITH ALL NEW FIXTURES, FINISHES + APPLIANCES

REPLACE W/H W/ ELEC TANKLESS

CABIN 1, 3, 5, SOLID SHEARING TO BE ADDED TO SIDE END WALLS, MIN. 3' LENGTH, REF. STRUCT.

RETRO ANCHOR CONNECTIONS SHALL BE INSTALLED AT THE CABIN/RETAINING WALL CONNECTIONS. THESE CONNECTIONS SHALL BR SIMPSON URFP PLATES W/ TITEN-HD SCREW ANCHORS OR SIMILAR REF. STRUCT.

NOTE: (E) PROPANE WALL HEATERS TO BE REPLACED WITH ALL-ELECTRIC HEAT SOURCE (MINI-SPLIT OR OTHER TBD BY MEP). LOCATION OF UNITS TBD. (E) ELECTRICAL TO BE UPGRADED TO CODE

QUEEN BED: 60" X 80"

PROPOSED WINDOW TO MEET EGRESS

EXCESSIVE SOIL TO BE REMOVED AROUND CABIN TO PROVIDE MIN 8" CLEARANCE BETWEEN GRADE + WOOD FRAMING/SIDING

COUNTY CONFIRMED THAT CABINS DO NOT NEED TO BE MODIFIED TO MEET NOISE REQUIREMENTS OR WUI REQUIREMENT, AS THEY ARE EXISTING BUILDINGS. CLIENT TO CONFIRM IF ENVELOPE UPGRADES (INSULATION, WINDOWS) ARE DESIRED.

PRELIMINARY
 NOT FOR
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JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
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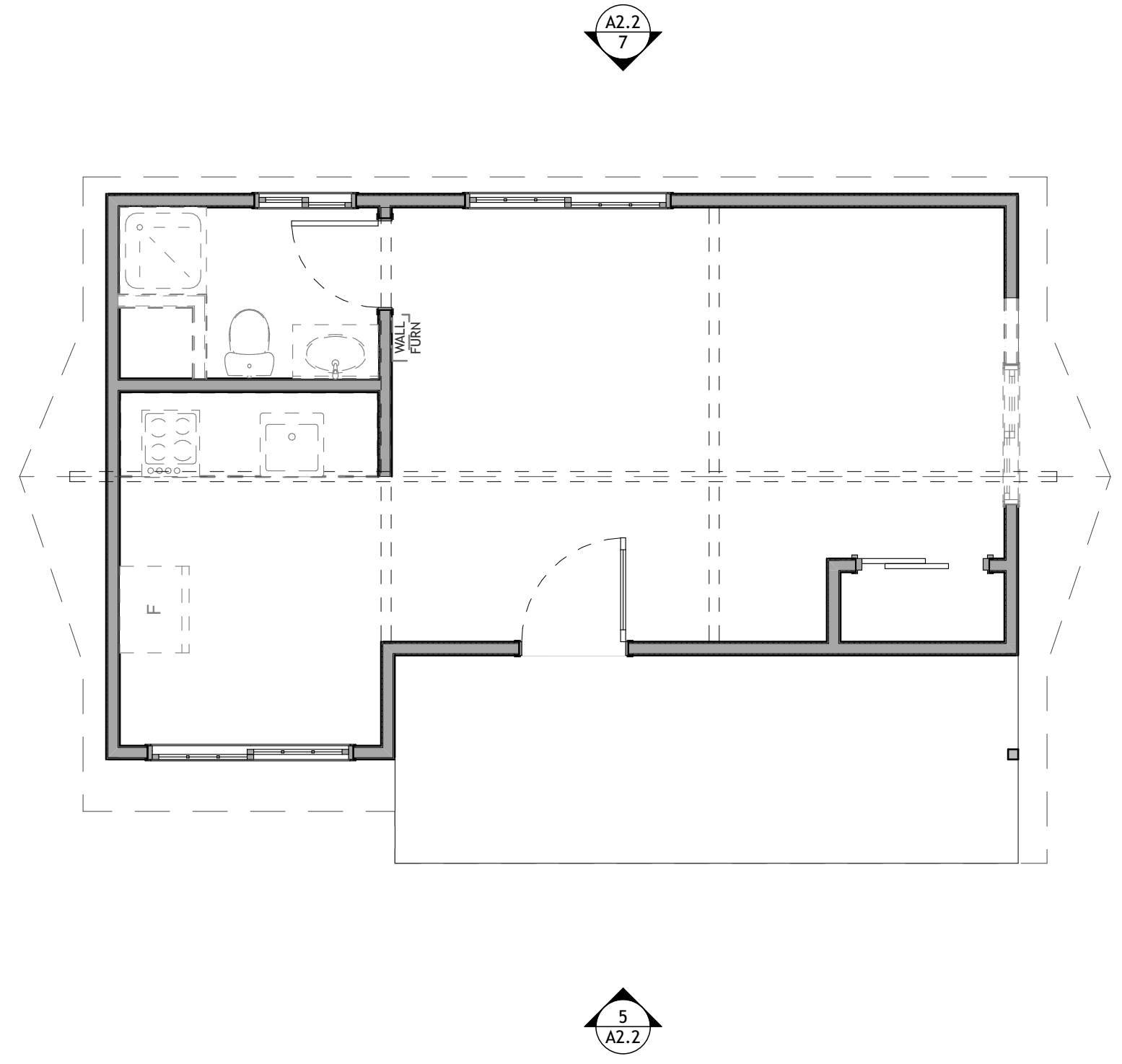
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DRG SUBMITTAL
A1.2
 Plotted On: 5/26/22

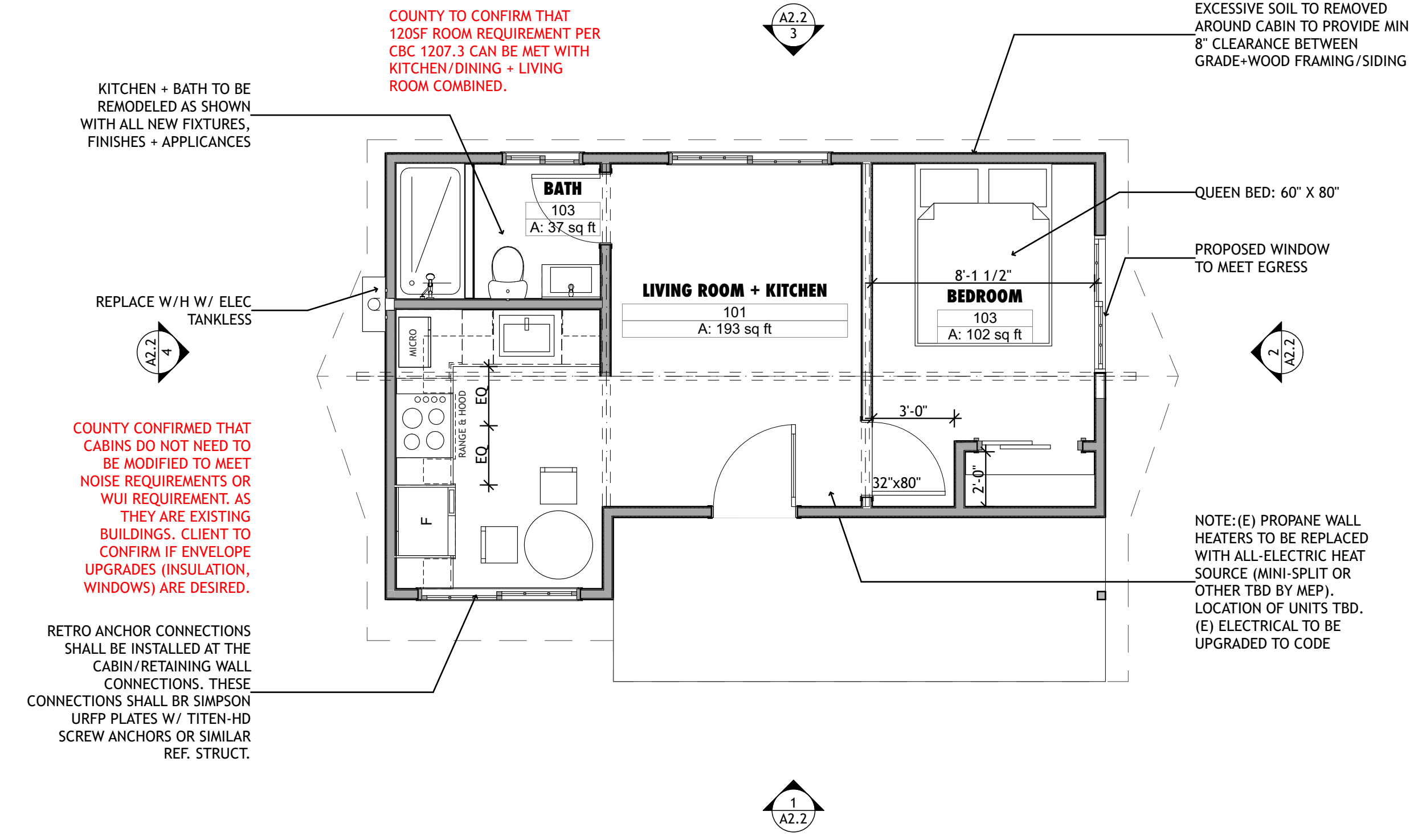
CABIN 2 & 4 EXISTING-DEMO & PROPOSED FIRST FLOOR PLAN

FLOOR PLAN LEGEND

- (E) WALLS TO BE REMOVED
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- EQ EQUIPMENT TAG - SEE SCHEDULE ON SHEET #lay0(ref)
- 04.01 KEY NOTE
- RESIDENTIAL CODE NOTE, SEE SHEET #lay0(ref)
- ROOM**
- 104 ROOM NAME
- 67 sq ft ROOM NUMBER
- 67 sq ft AREA OF ROOM



2 CABIN 2&4 EXISTING & DEMO FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 CABIN 2 & 4 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

KITCHEN + BATH TO BE REMODELED AS SHOWN WITH ALL NEW FIXTURES, FINISHES + APPLIANCES

REPLACE W/H W/ ELEC. TANKLESS

COUNTY TO CONFIRM THAT CABINS DO NOT NEED TO BE MODIFIED TO MEET NOISE REQUIREMENTS OR WUI REQUIREMENT, AS THEY ARE EXISTING BUILDINGS. CLIENT TO CONFIRM IF ENVELOPE UPGRADES (INSULATION, WINDOWS) ARE DESIRED.

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COUNTY TO CONFIRM THAT 120SF ROOM REQUIREMENT PER CBC 1207.3 CAN BE MET WITH KITCHEN/DINING + LIVING ROOM COMBINED.

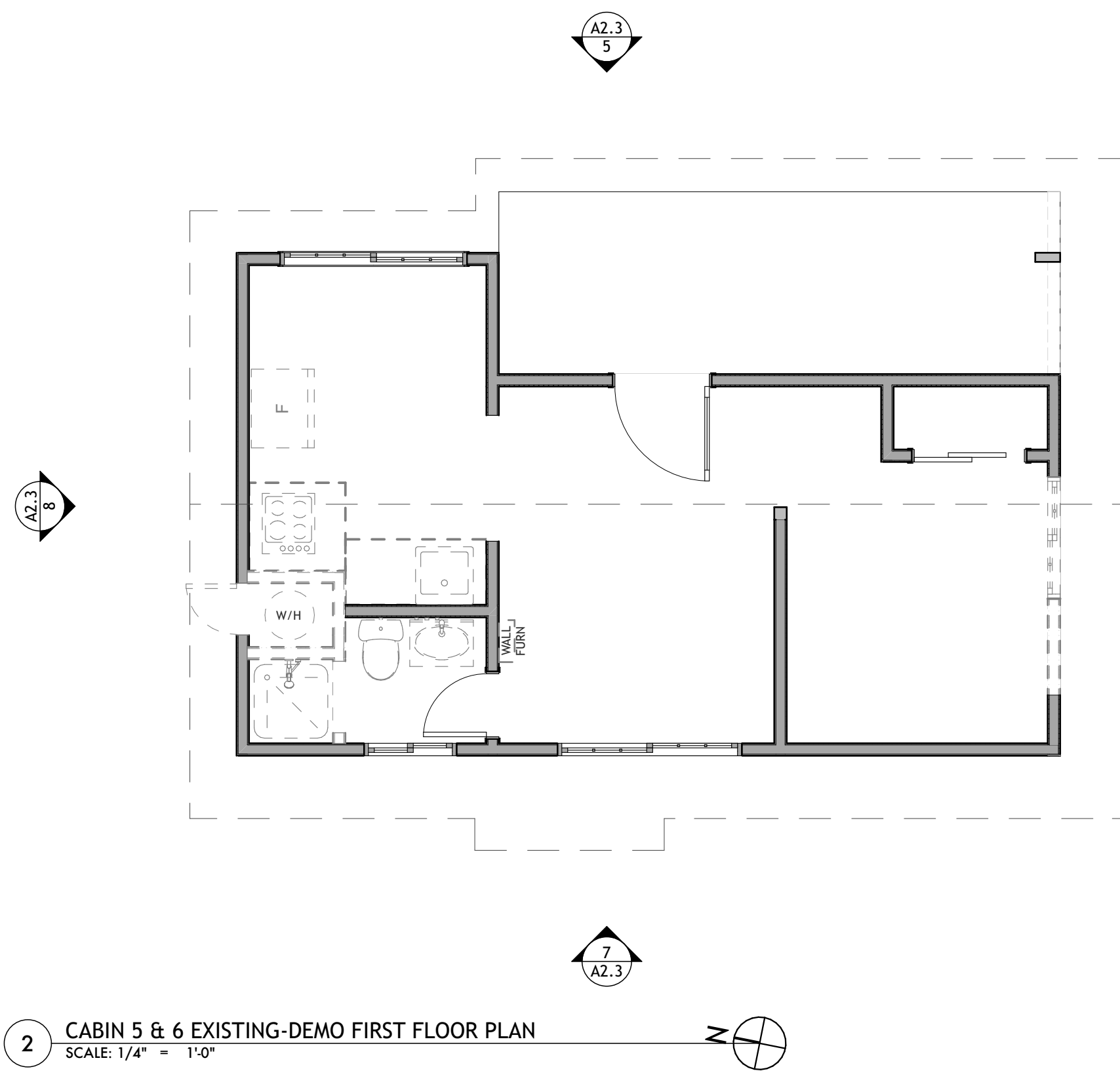
EXCESSIVE SOIL TO BE REMOVED AROUND CABIN TO PROVIDE MIN 8" CLEARANCE BETWEEN GRADE+WOOD FRAMING/SIDING

QUEEN BED: 60" X 80"

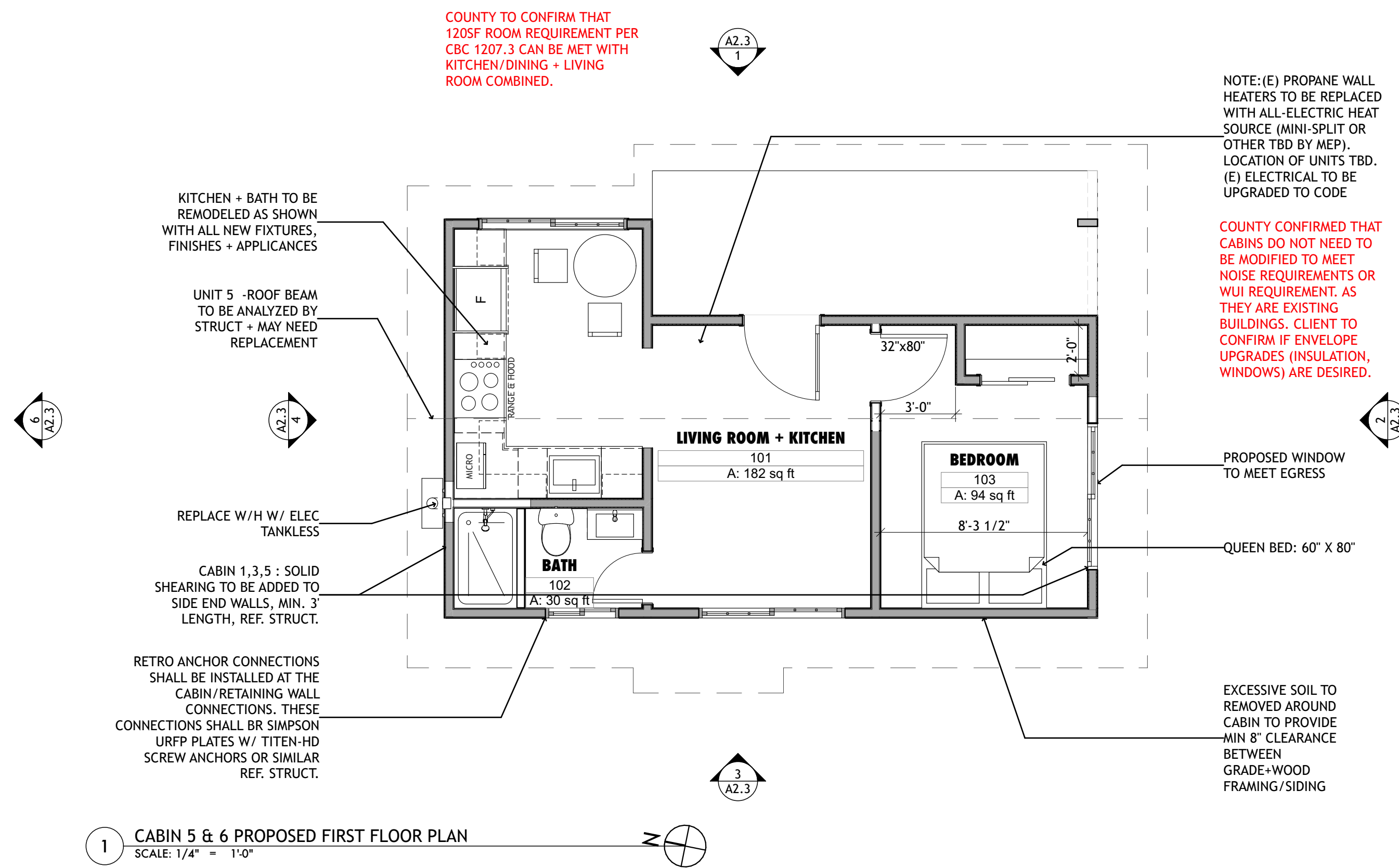
PROPOSED WINDOW TO MEET EGRESS

NOTE:(E) PROPANE WALL HEATERS TO BE REPLACED WITH ALL-ELECTRIC HEAT SOURCE (MINI-SPLIT OR OTHER TBD BY MEP), LOCATION OF UNITS TBD. (E) ELECTRICAL TO BE UPGRADED TO CODE

DATE



2 CABIN 5 & 6 EXISTING-DEMO FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 CABIN 5 & 6 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- (E) WALLS TO BE REMOVED
- (E) WALLS TO REMAIN
- (N) WALL
- (E) PARTIAL HEIGHT WALL
- (N) PARTIAL HEIGHT WALL
- (N) DIE WALL
- DOOR TAG - SEE SCHEDULE ON SHEET A6.1
- WINDOW TAG - SEE SCHEDULE ON SHEET A6.1
- WALL FINISH - SEE FINISH SCHEDULE
- FLOOR FINISH - SEE FINISH SCHEDULE
- SPECIAL FINISH - SEE FINISH SCHEDULE
- EQUIPMENT TAG - SEE SCHEDULE ON SHEET #LayD(ref)
- KEY NOTE
- RESIDENTIAL CODE NOTE, SEE SHEET #LayD(ref)
- ROOM**
- ROOM NAME
- ROOM NUMBER
- AREA OF ROOM

COUNTY TO CONFIRM THAT 120SF ROOM REQUIREMENT PER CBC 1207.3 CAN BE MET WITH KITCHEN/DINING + LIVING ROOM COMBINED.

NOTE: (E) PROPANE WALL HEATERS TO BE REPLACED WITH ALL-ELECTRIC HEAT SOURCE (MINI-SPLIT OR OTHER TBD BY MEP). LOCATION OF UNITS TBD. (E) ELECTRICAL TO BE UPGRADED TO CODE

COUNTY CONFIRMED THAT CABINS DO NOT NEED TO BE MODIFIED TO MEET NOISE REQUIREMENTS OR WUI REQUIREMENT, AS THEY ARE EXISTING BUILDINGS. CLIENT TO CONFIRM IF ENVELOPE UPGRADES (INSULATION, WINDOWS) ARE DESIRED.

KITCHEN + BATH TO BE REMODELED AS SHOWN WITH ALL NEW FIXTURES, FINISHES + APPLIANCES

UNIT 5 - ROOF BEAM TO BE ANALYZED BY STRUCT + MAY NEED REPLACEMENT

REPLACE W/H W/ ELEC. TANKLESS

CABIN 1,3,5 - SOLID SHEARING TO BE ADDED TO SIDE END WALLS, MIN. 3' LENGTH, REF. STRUCT.

RETRO ANCHOR CONNECTIONS SHALL BE INSTALLED AT THE CABIN/RETAINING WALL CONNECTIONS. THESE CONNECTIONS SHALL BR SIMPSON URFP PLATES W/ TITEN-HD SCREW ANCHORS OR SIMILAR REF. STRUCT.

PROPOSED WINDOW TO MEET EGRESS

QUEEN BED: 60" X 80"

EXCESSIVE SOIL TO BE REMOVED AROUND CABIN TO PROVIDE MIN 8" CLEARANCE BETWEEN GRADE+WOOD FRAMING/SIDING

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

THE RESULTS OF A BUILDING PERMITS SHALL NOT BE CONSIDERED AS A GUARANTEE THAT ALL REQUIREMENTS ARE MET. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE PROJECT COMPLETION WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A1.3
Plotted On: 5/26/22

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND,
CA 95005
APN: 078-273-15

THE QUALITY OF A BUILDING
CONSTRUCTED AS A GUARANTEE
THAT ALL ELEMENTS
ARE RELEASING IN THE
DOCUMENT. THE GENERAL
CONTRACTOR SHALL BE ULTIMATELY
RESPONSIBLE FOR ENSURING
THE PROJECT COMPLETION WITH ALL
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

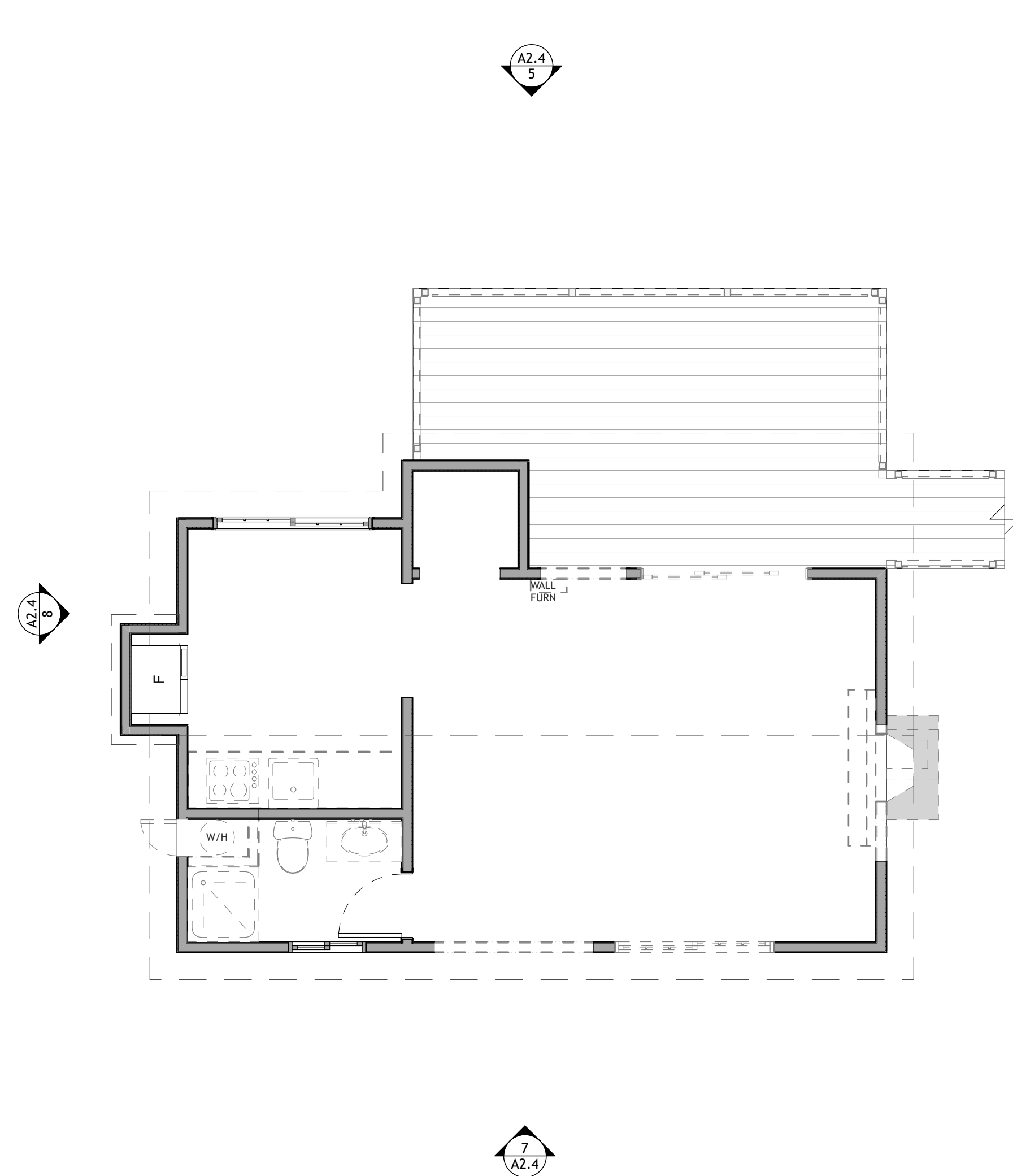
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Checked:	CN
Job:	22-10

DRG SUBMITTAL

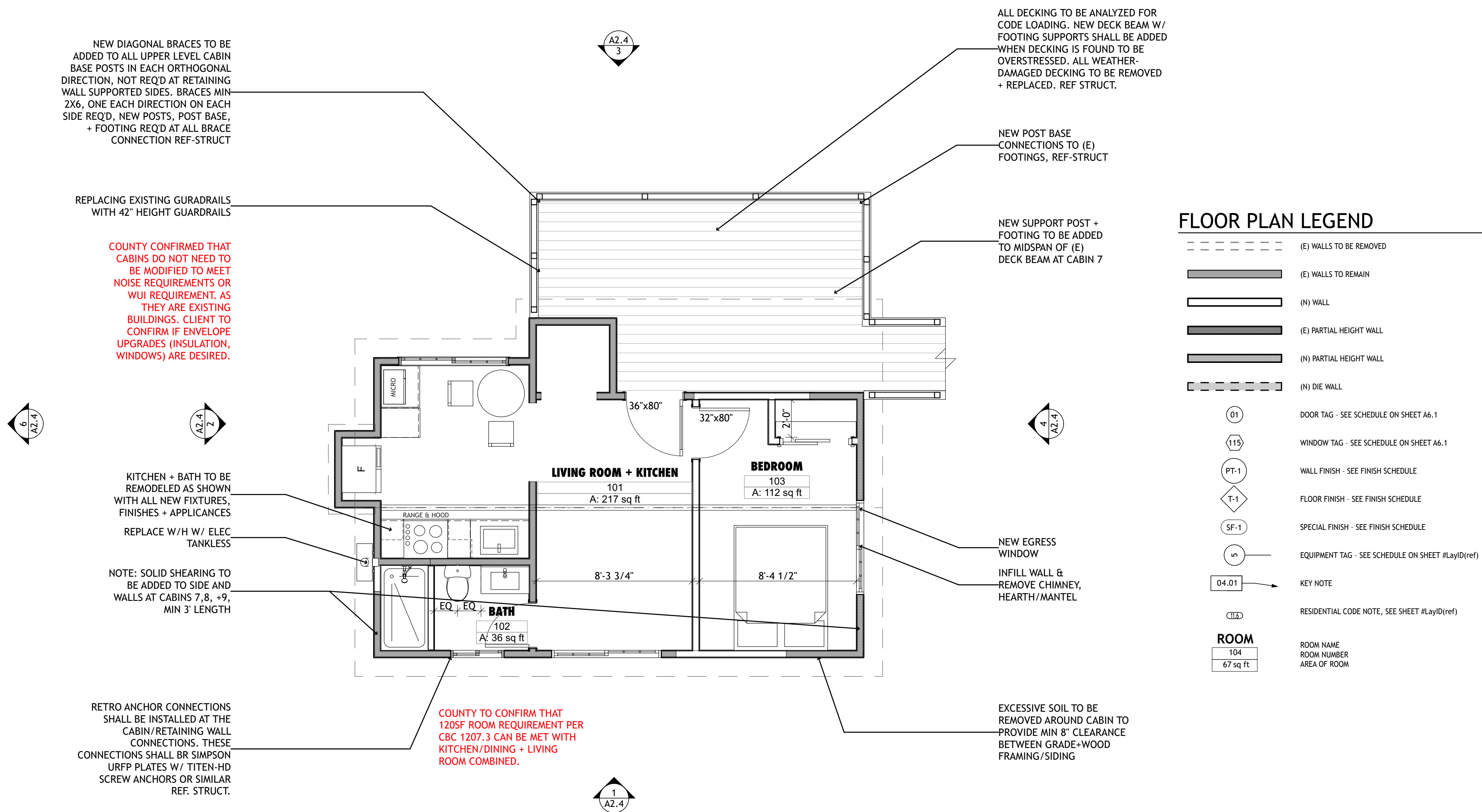
A1.4

Plotted On: 5/26/22

CABIN 7 EXISTING-DEMO & PROPOSED FIRST FLOOR PLAN



2 CABIN 7 EXISTING & DEMO FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 CABIN 7 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- (E) WALLS TO BE REMOVED
- (E) WALLS TO REMAIN
- (N) WALL
- (E) PARTIAL HEIGHT WALL
- (N) PARTIAL HEIGHT WALL
- (N) DIE WALL
- DOOR TAG - SEE SCHEDULE ON SHEET A6.1
- WINDOW TAG - SEE SCHEDULE ON SHEET A6.1
- WALL FINISH - SEE FINISH SCHEDULE
- FLOOR FINISH - SEE FINISH SCHEDULE
- SPECIAL FINISH - SEE FINISH SCHEDULE
- EQUIPMENT TAG - SEE SCHEDULE ON SHEET #lay(D)(ref)
- KEY NOTE
- RESIDENTIAL CODE NOTE, SEE SHEET #lay(D)(ref)
- ROOM NAME
ROOM NUMBER
AREA OF ROOM

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF THE BUILDING
 SHALL BE THE RESPONSIBILITY OF THE
 CONTRACTOR. THE ARCHITECT
 SHALL BE RESPONSIBLE FOR
 OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS
 FROM THE LOCAL AGENCIES
 AND SHALL BE RESPONSIBLE FOR
 OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS
 FROM THE LOCAL AGENCIES
 AND SHALL BE RESPONSIBLE FOR
 OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS
 FROM THE LOCAL AGENCIES

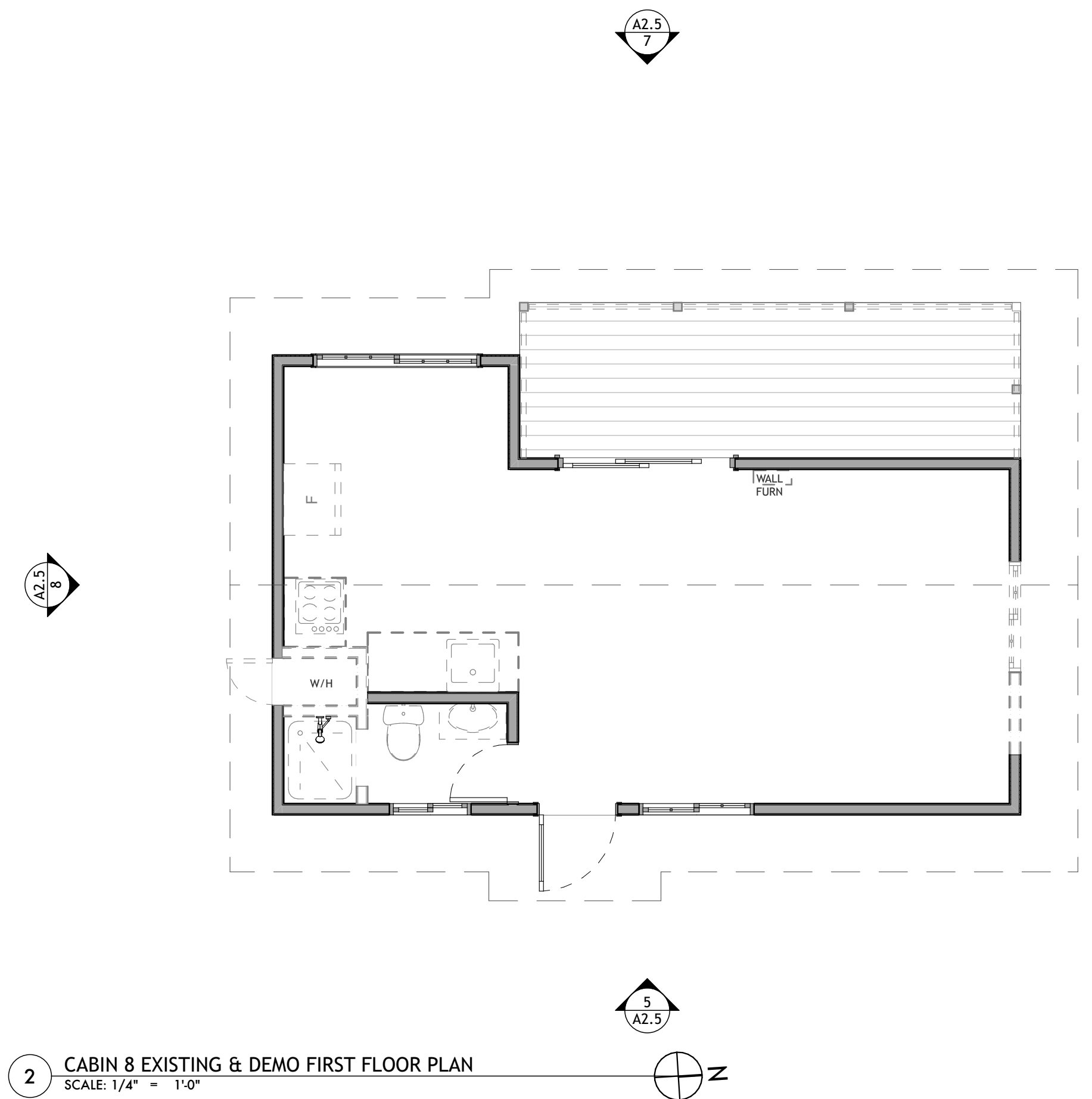
IF THE ABOVE DIMENSION DOES NOT
 MEASURE ONE INCH (1") EXACTLY,
 THIS DRAWING WILL HAVE BEEN
 ENLARGED OR REDUCED,
 AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

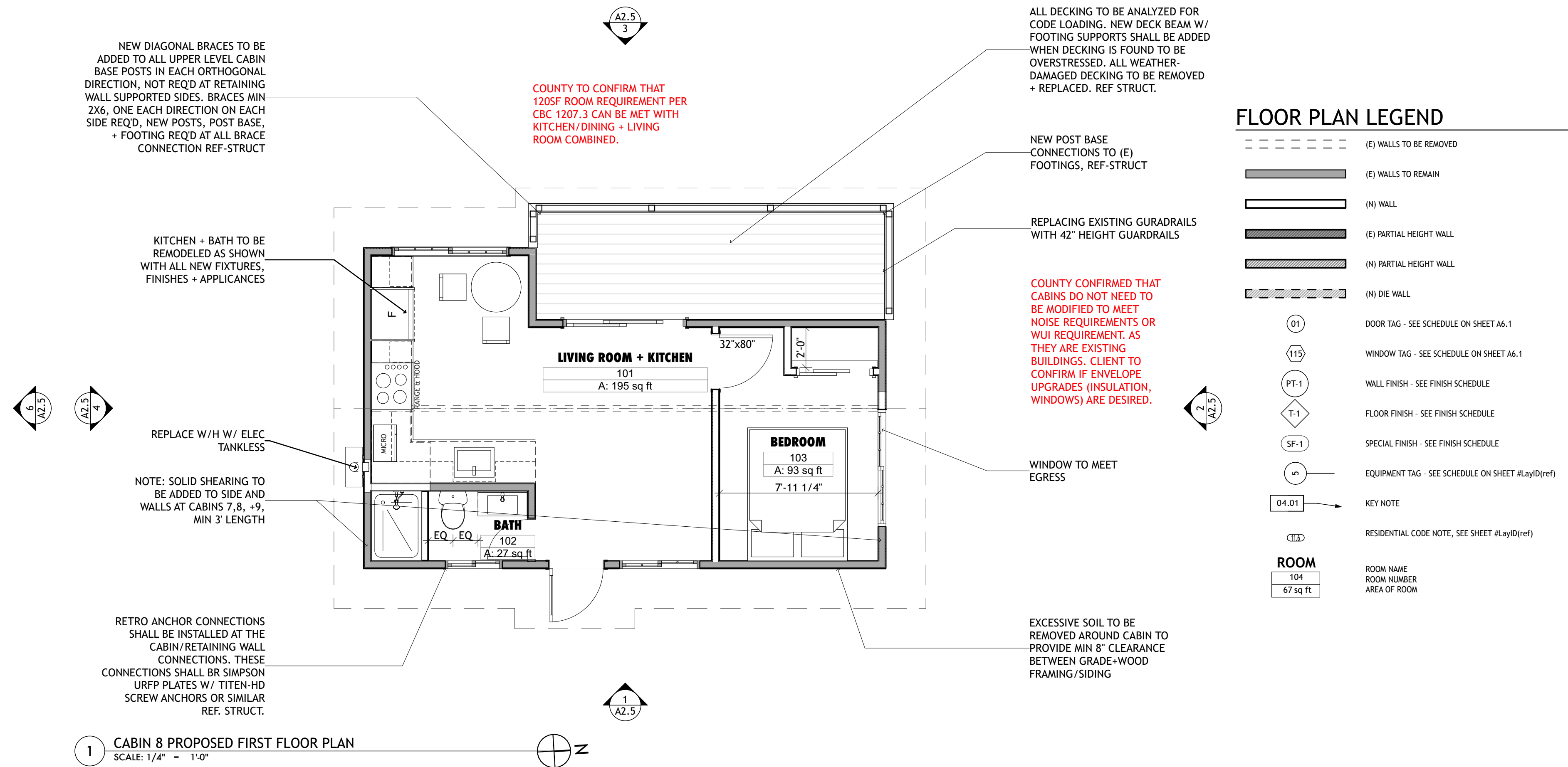
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Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A1.5
 Plotted On: 5/26/22

CABIN 8 EXISTING-DEMO & PROPOSED FIRST FLOOR PLAN



2 CABIN 8 EXISTING & DEMO FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 CABIN 8 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- (E) WALLS TO BE REMOVED
- (E) WALLS TO REMAIN
- (N) WALL
- (E) PARTIAL HEIGHT WALL
- (N) PARTIAL HEIGHT WALL
- (N) DIE WALL
- 01 DOOR TAG - SEE SCHEDULE ON SHEET A6.1
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET A6.1
- PT-1 WALL FINISH - SEE FINISH SCHEDULE
- T-1 FLOOR FINISH - SEE FINISH SCHEDULE
- SF-1 SPECIAL FINISH - SEE FINISH SCHEDULE
- EQ EQUIPMENT TAG - SEE SCHEDULE ON SHEET #lay0(ref)
- 04.01 KEY NOTE
- RESIDENTIAL CODE NOTE, SEE SHEET #lay0(ref)
- ROOM**
- 104 ROOM NAME
- 67 sq ft ROOM NUMBER
- 67 sq ft AREA OF ROOM

DATE: 5/26/22
 SCALE: AS NOTED
 DRAWN: ZL/EU
 CHECKED: CN
 JOB: 22-10

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF A BUILDING
 THAT REMAINS SAFE AND
 DURABLE IS A GUARANTEE
 THAT ARCHITECTS AND
 ENGINEERS ARE RESPONSIBLE FOR
 THE QUALITY OF THE PROJECT
 AND THE SAFETY OF THE
 CLIENTS. THE ARCHITECT
 SHALL BE RESPONSIBLE FOR
 THE QUALITY OF THE PROJECT
 AND THE SAFETY OF THE
 CLIENTS. THE ARCHITECT
 SHALL BE RESPONSIBLE FOR
 THE QUALITY OF THE PROJECT
 AND THE SAFETY OF THE
 CLIENTS.

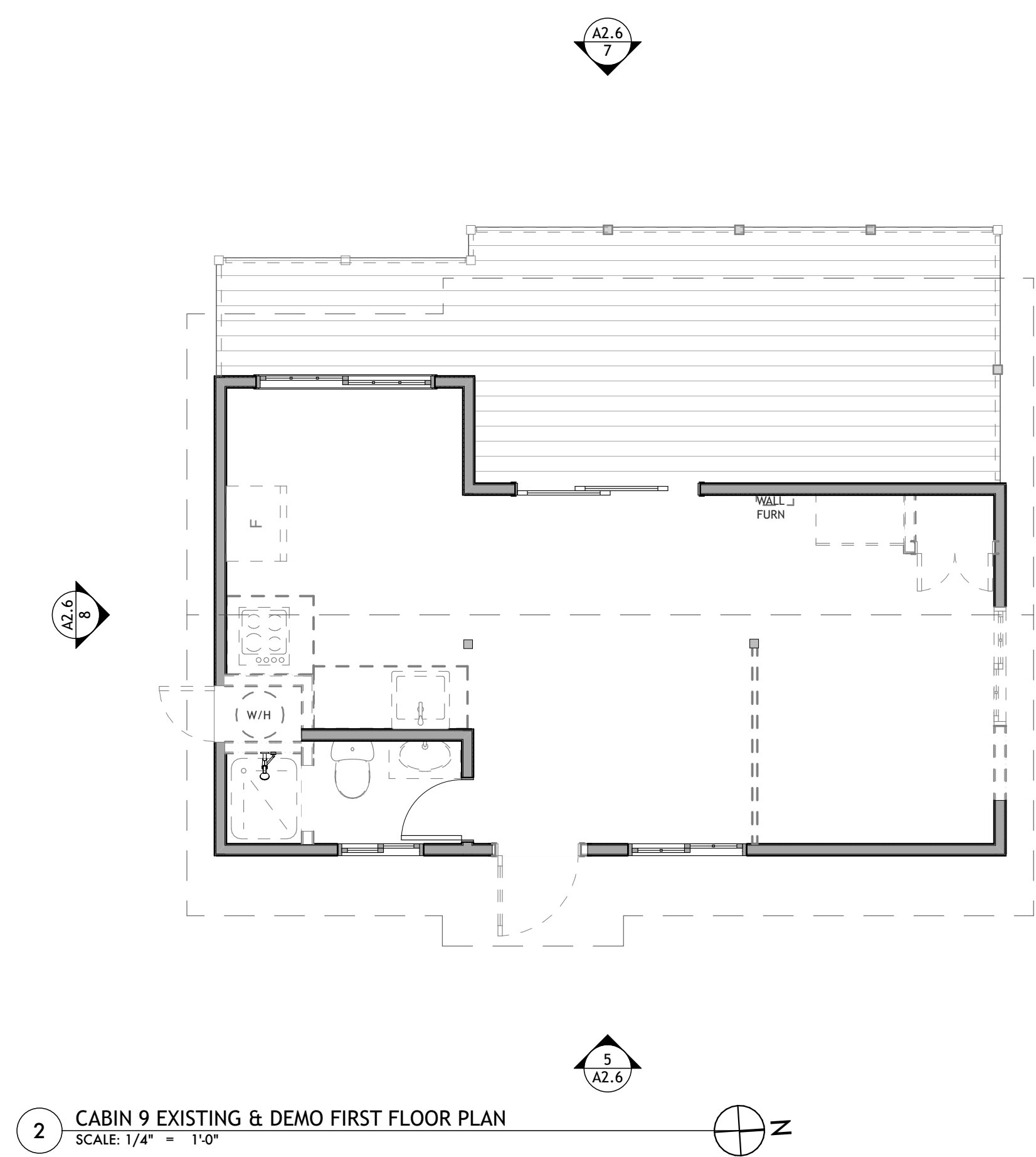
IF THE ABOVE DIMENSION DOES NOT
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 AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

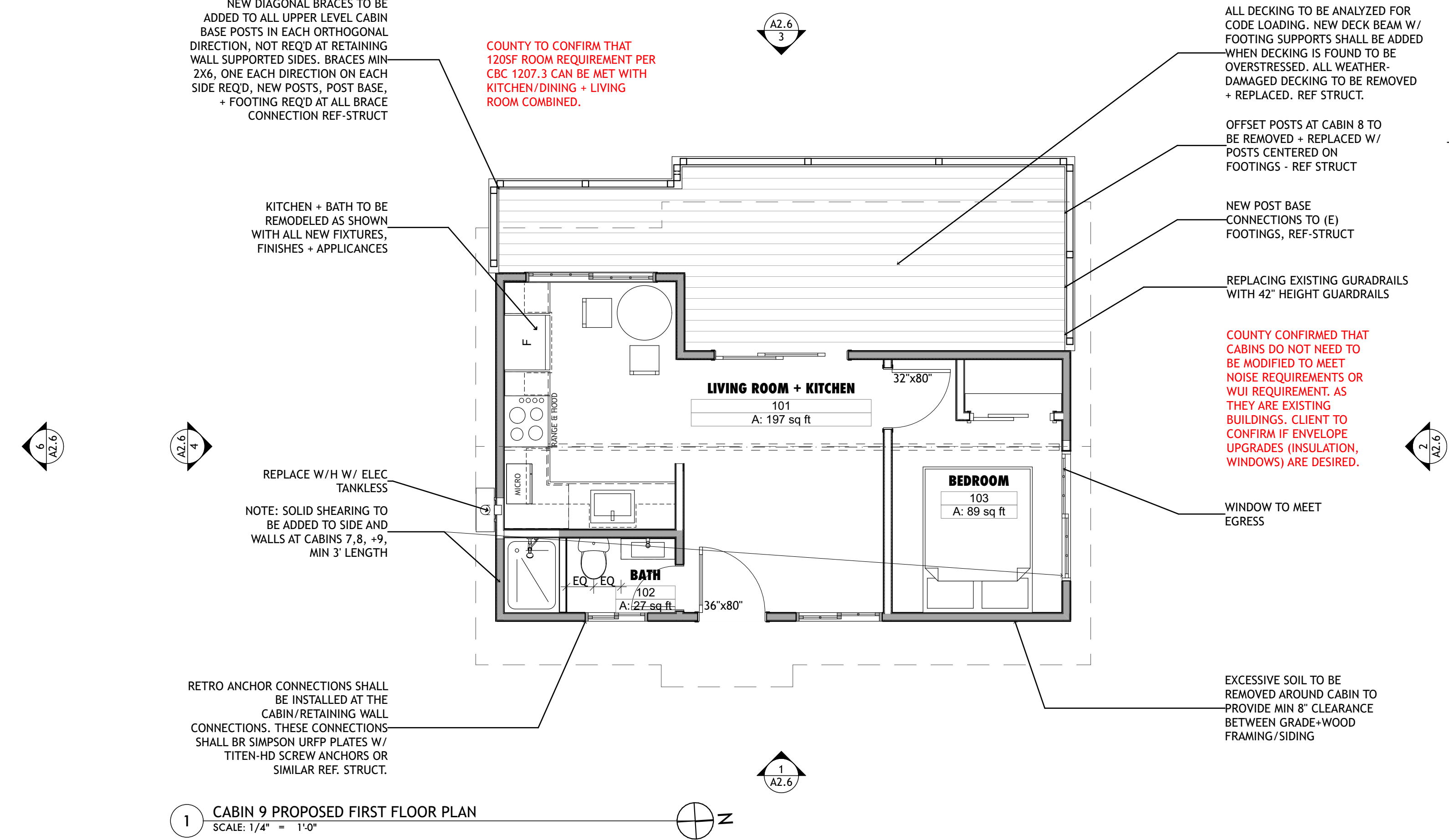
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Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A1.6
 Plotted On: 5/26/22

CABIN 9 EXISTING-DEMO & PROPOSED FIRST FLOOR PLAN



2 CABIN 9 EXISTING & DEMO FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 CABIN 9 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- (E) WALLS TO BE REMOVED
- (E) WALLS TO REMAIN
- (N) WALL
- (E) PARTIAL HEIGHT WALL
- (N) PARTIAL HEIGHT WALL
- (N) DIE WALL
- DOOR TAG - SEE SCHEDULE ON SHEET A6.1
- WINDOW TAG - SEE SCHEDULE ON SHEET A6.1
- WALL FINISH - SEE FINISH SCHEDULE
- FLOOR FINISH - SEE FINISH SCHEDULE
- SPECIAL FINISH - SEE FINISH SCHEDULE
- EQUIPMENT TAG - SEE SCHEDULE ON SHEET #layD(ref)
- KEY NOTE
- RESIDENTIAL CODE NOTE, SEE SHEET #layD(ref)
- ROOM**
- ROOM NAME
- ROOM NUMBER
- AREA OF ROOM

NEW DIAGONAL BRACES TO BE ADDED TO ALL UPPER LEVEL CABIN BASE POSTS IN EACH ORTHOGONAL DIRECTION, NOT REQD AT RETAINING WALL SUPPORTED SIDES. BRACES MIN 2X6, ONE EACH DIRECTION ON EACH SIDE REQD, NEW POSTS, POST BASE, + FOOTING REQD AT ALL BRACE CONNECTION REF-STRUCT

COUNTY TO CONFIRM THAT 120SF ROOM REQUIREMENT PER CBC 1207.3 CAN BE MET WITH KITCHEN/DINING + LIVING ROOM COMBINED.

KITCHEN + BATH TO BE REMODELED AS SHOWN WITH ALL NEW FIXTURES, FINISHES + APPLIANCES

REPLACE W/H W/ ELEC TANKLESS
 NOTE: SOLID SHEARING TO BE ADDED TO SIDE AND WALLS AT CABINS 7, 8, +9, MIN 3' LENGTH

RETRO ANCHOR CONNECTIONS SHALL BE INSTALLED AT THE CABIN/RETAINING WALL CONNECTIONS. THESE CONNECTIONS SHALL BR SIMPSON URFP PLATES W/ TITEN-HD SCREW ANCHORS OR SIMILAR REF. STRUCT.

ALL DECKING TO BE ANALYZED FOR CODE LOADING. NEW DECK BEAM W/ FOOTING SUPPORTS SHALL BE ADDED WHEN DECKING IS FOUND TO BE OVERSTRESSED. ALL WEATHER-DAMAGED DECKING TO BE REMOVED + REPLACED. REF STRUCT.

OFFSET POSTS AT CABIN 8 TO BE REMOVED + REPLACED W/ POSTS CENTERED ON FOOTINGS - REF STRUCT

NEW POST BASE CONNECTIONS TO (E) FOOTINGS, REF-STRUCT

REPLACING EXISTING GUARDRAILS WITH 42" HEIGHT GUARDRAILS

COUNTY CONFIRMED THAT CABINS DO NOT NEED TO BE MODIFIED TO MEET NOISE REQUIREMENTS OR WUI REQUIREMENT, AS THEY ARE EXISTING BUILDINGS. CLIENT TO CONFIRM IF ENVELOPE UPGRADES (INSULATION, WINDOWS) ARE DESIRED.

WINDOW TO MEET EGRESS

EXCESSIVE SOIL TO BE REMOVED AROUND CABIN TO PROVIDE MIN 8" CLEARANCE BETWEEN GRADE-WOOD FRAMING/SIDING

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF THE BUILDING SHALL BE GUARANTEED AS A GUARANTEE THAT ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GENERAL CONTRACT DOCUMENT. THE GENERAL CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR ENSURING THAT ALL WORKMANSHIP COMPLETES WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

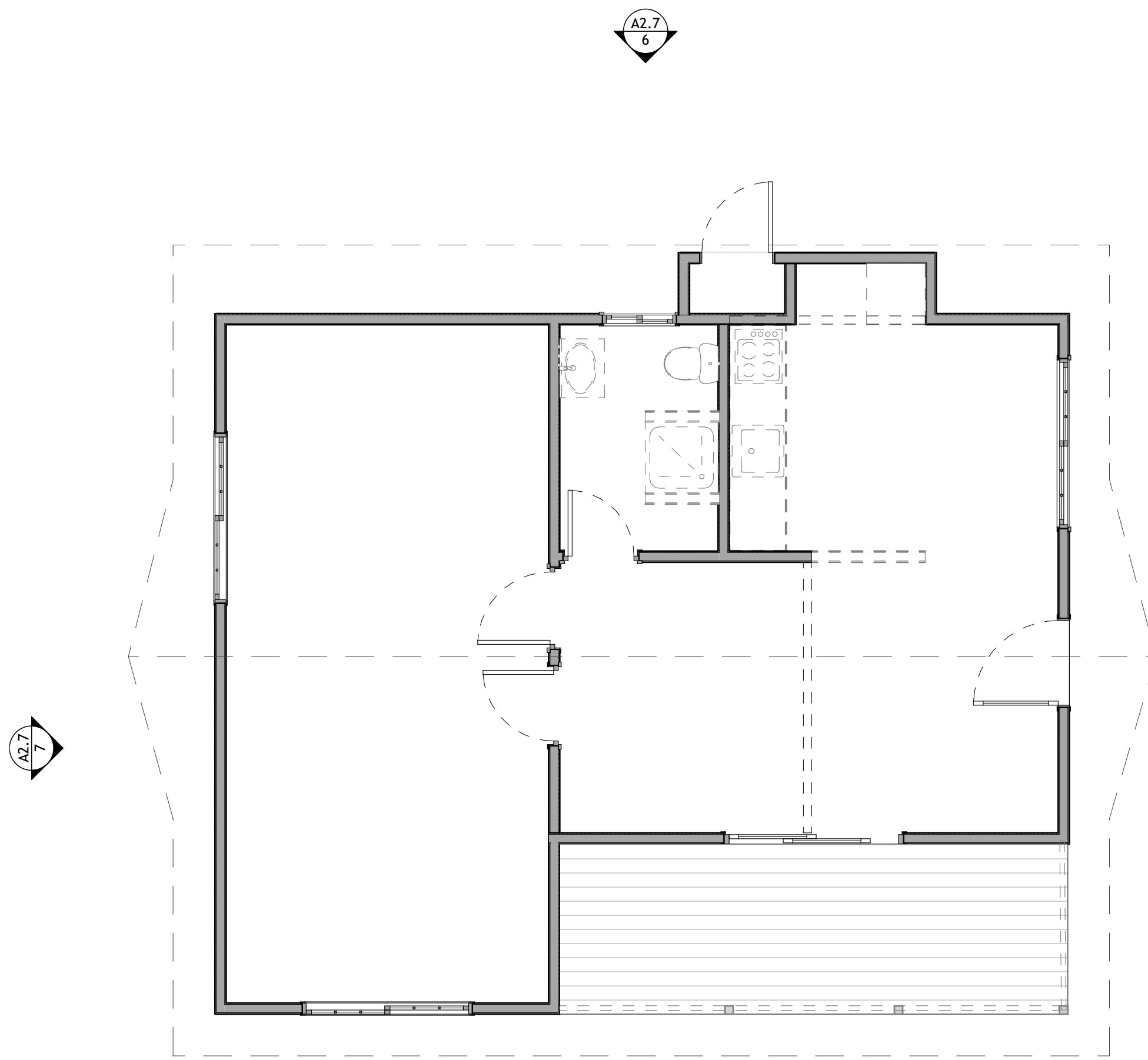
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
△ 01		

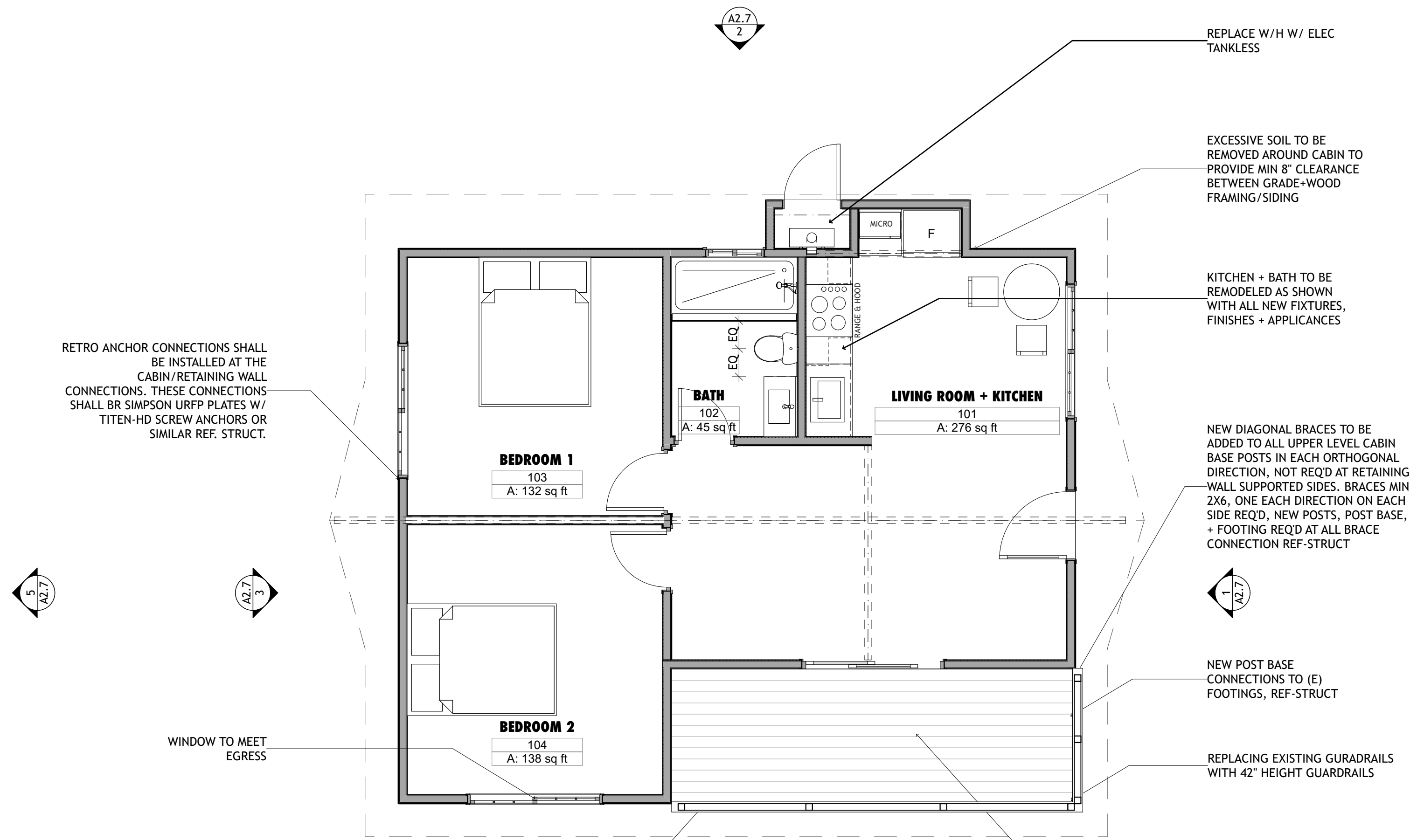
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Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A1.7
 Plotted On: 5/26/22

CABIN 10 EXISTING-DEMO & PROPOSED FIRST FLOOR PLAN



2 CABIN 10 EXISTING & DEMO FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 CABIN 10 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- (E) WALLS TO BE REMOVED
- (E) WALLS TO REMAIN
- (N) WALL
- (E) PARTIAL HEIGHT WALL
- (N) PARTIAL HEIGHT WALL
- (N) DIE WALL
- DOOR TAG - SEE SCHEDULE ON SHEET A6.1
- WINDOW TAG - SEE SCHEDULE ON SHEET A6.1
- WALL FINISH - SEE FINISH SCHEDULE
- FLOOR FINISH - SEE FINISH SCHEDULE
- SPECIAL FINISH - SEE FINISH SCHEDULE
- EQUIPMENT TAG - SEE SCHEDULE ON SHEET #layD(ref)
- KEY NOTE
- RESIDENTIAL CODE NOTE, SEE SHEET #layD(ref)
- ROOM**
- ROOM NAME
ROOM NUMBER
AREA OF ROOM

RETRO ANCHOR CONNECTIONS SHALL BE INSTALLED AT THE CABIN/RETAINING WALL CONNECTIONS. THESE CONNECTIONS SHALL BR SIMPSON URFP PLATES W/ TITEN-HD SCREW ANCHORS OR SIMILAR REF. STRUCT.

CABIN 10 DECK BRACES SHALL BE ANCHORED TO DECK BEAMS W/ NEW CONNECTIONS. CONNECTIONS SHALL BE SIMPSON CONNECTOR PLATES DESIGNED FOR CURRENT LOAD CONDITIONS. DIAGONAL BASE CONNECTIONS SHALL BE INSTALLED TO ADEQUATELY BRACE DECK DIAGONALS. EXISTING FOOTING MAY NEED TO BE REMOVED + REPLACED AT THEIR LOCATION. REF STRUCT

REPLACE W/H W/ ELEC TANKLESS

EXCESSIVE SOIL TO BE REMOVED AROUND CABIN TO PROVIDE MIN 8" CLEARANCE BETWEEN GRADE+WOOD FRAMING/SIDING

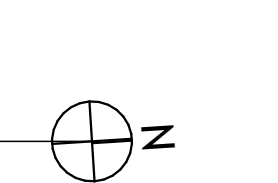
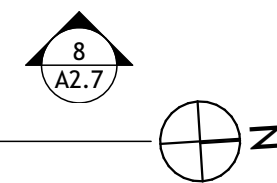
KITCHEN + BATH TO BE REMODELED AS SHOWN WITH ALL NEW FIXTURES, FINISHES + APPLICANCES

NEW DIAGONAL BRACES TO BE ADDED TO ALL UPPER LEVEL CABIN BASE POSTS IN EACH ORTHOGONAL DIRECTION, NOT REQD AT RETAINING WALL SUPPORTED SIDES. BRACES MIN 2X6, ONE EACH DIRECTION ON EACH SIDE REQD. NEW POSTS, POST BASE, + FOOTING REQD AT ALL BRACE CONNECTION REF-STRUCT

NEW POST BASE CONNECTIONS TO (E) FOOTINGS, REF-STRUCT

REPLACING EXISTING GURADRAILS WITH 42" HEIGHT GUARDRAILS

ALL DECKING TO BE ANALYZED FOR CODE LOADING. NEW DECK BEAM W/ FOOTING SUPPORTS SHALL BE ADDED WHEN DECKING IS FOUND TO BE OVERSTRESSED. ALL WEATHER-DAMAGED DECKING TO BE REMOVED + REPLACED. REF STRUCT.



PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF A BUILDING
 CONSTRUCTED AS A GUARANTEE
 FROM THIS ARCHITECTURE
 DOCUMENT. THE GENERAL
 CONTRACTOR SHALL BE
 RESPONSIBLE FOR ENSURING
 THE BUILDING COMPLETION
 REGULATIONS, LAWS AND CODE
 REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
 MEASURE ONE INCH (1") EXACTLY,
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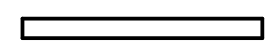


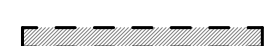


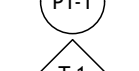

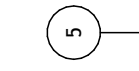
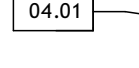

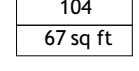
BY	REVISIONS	Date
01		

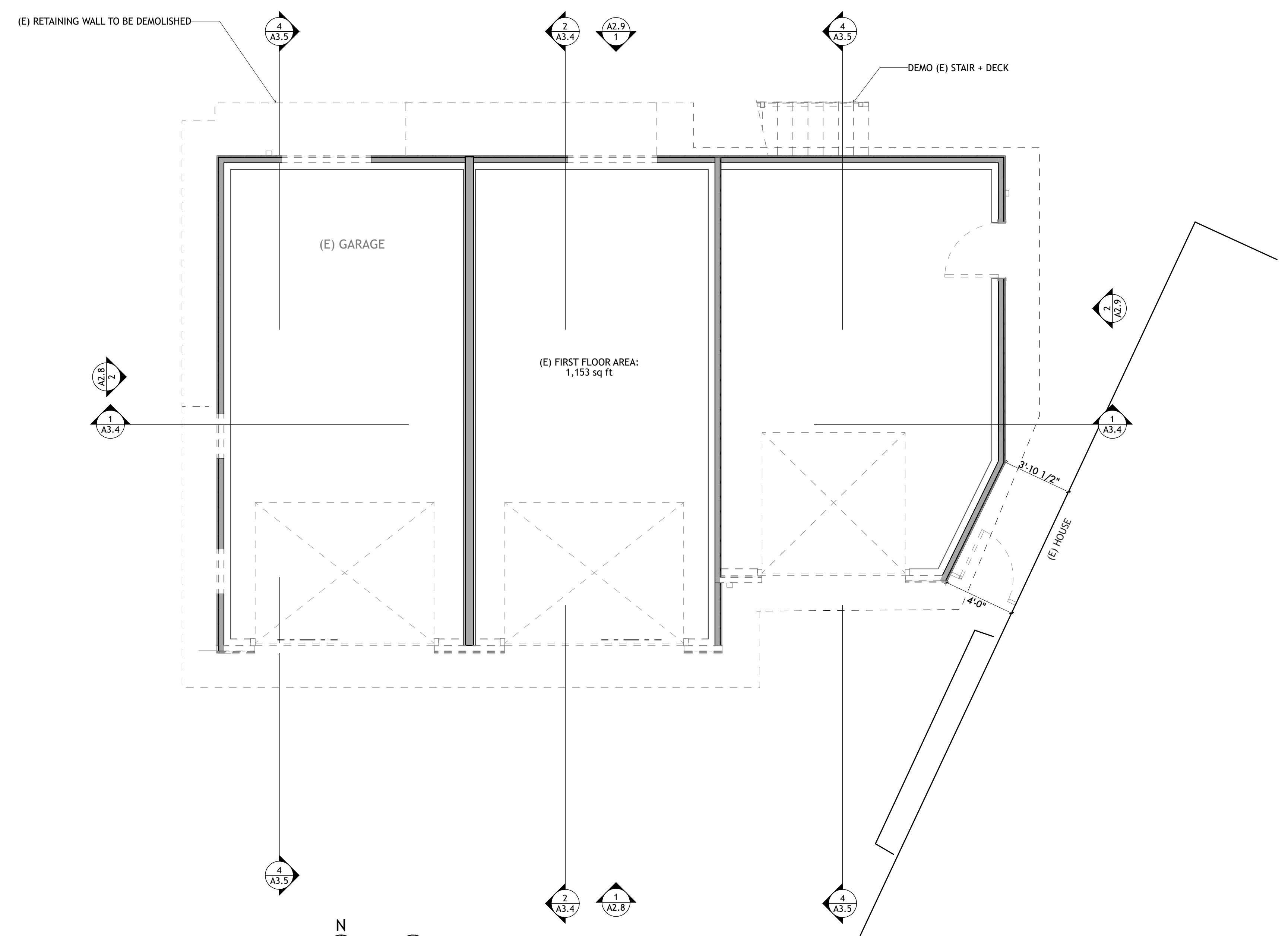
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Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A1.8
 Plotted On: 5/26/22

GARAGE EXISTING-DEMO FIRST FLOOR PLAN

FLOOR PLAN LEGEND

-  (E) WALLS TO BE REMOVED
 -  (E) WALLS TO REMAIN
 -  (N) WALL
 -  (E) PARTIAL HEIGHT WALL
 -  (N) PARTIAL HEIGHT WALL
 -  (N) DIE WALL
 -  DOOR TAG - SEE SCHEDULE ON SHEET A6.1
 -  WINDOW TAG - SEE SCHEDULE ON SHEET A6.1
 -  WALL FINISH - SEE FINISH SCHEDULE
 -  FLOOR FINISH - SEE FINISH SCHEDULE
 -  SPECIAL FINISH - SEE FINISH SCHEDULE
 -  EQUIPMENT TAG - SEE SCHEDULE ON SHEET #LayD(ref)
 -  KEY NOTE
 -  RESIDENTIAL CODE NOTE, SEE SHEET #LayD(ref)
- | ROOM | ROOM NAME | ROOM NUMBER | AREA OF ROOM |
|----------|-----------|-------------|--------------|
| 104 | | | |
| 67 sq ft | | | |



1 GARAGE EXISTING & DEMO FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 PROJECT NORTH TRUE NORTH

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF THE BUILDING
 CONSTRUCTION SHALL BE
 GUARANTEED AS A GUARANTEE
 THAT ALL WORKMANSHIP
 SHALL BE IN ACCORDANCE WITH
 THE GENERAL CONTRACT
 DOCUMENT. THE GENERAL
 CONTRACTOR SHALL BE
 RESPONSIBLE FOR ENSURING
 THAT ALL WORKMANSHIP
 COMPLES WITH ALL
 REGULATIONS, LAWS AND CODE
 REQUIREMENTS.

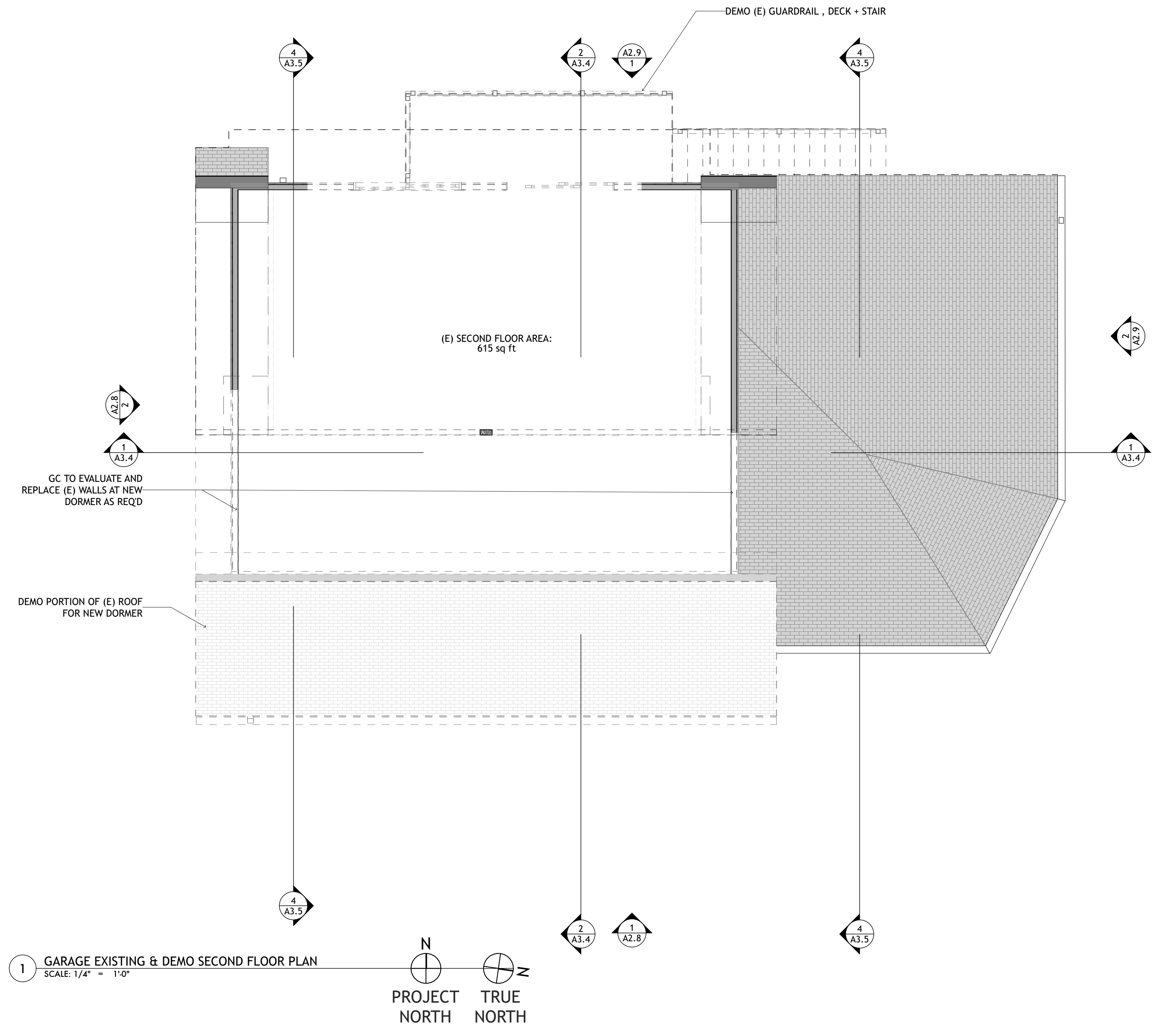
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 MEASURE ONE INCH (1") EXACTLY,
 THIS DRAWING WILL HAVE BEEN
 ENLARGED OR REDUCED,
 AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

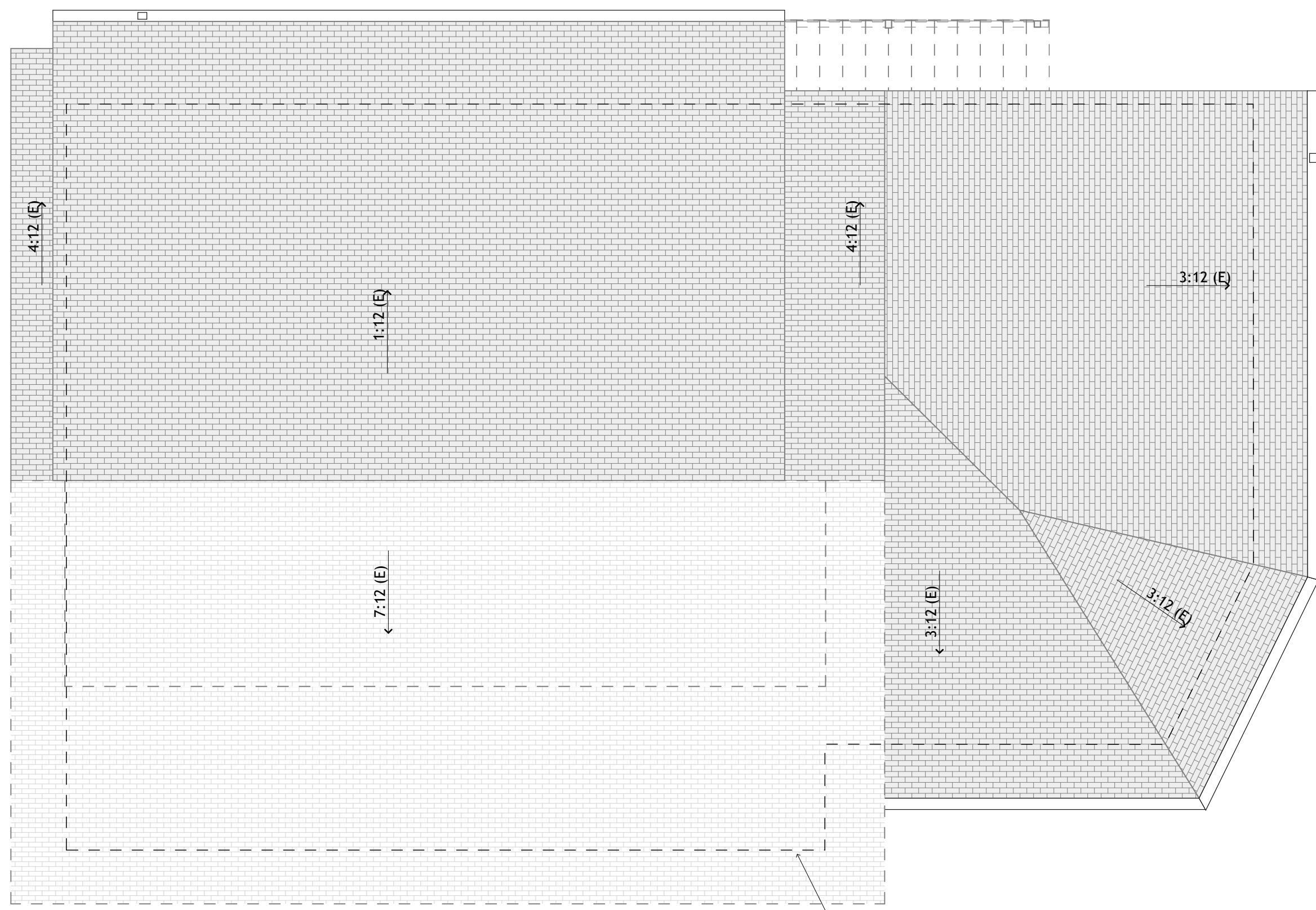
DRG SUBMITTAL
A1.9
 Plotted On: 5/26/22

GARAGE EXISTING-DEMO SECOND FLOOR PLAN

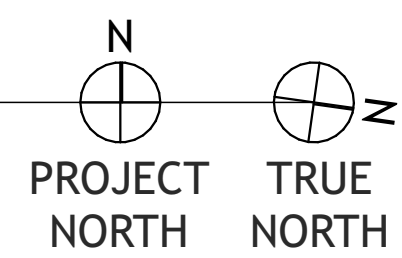


FLOOR PLAN LEGEND


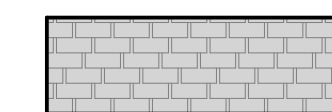
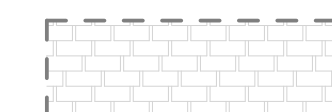
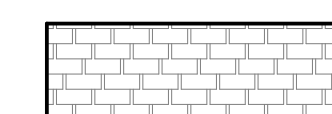
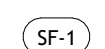
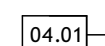
- (E) WALLS TO BE REMOVED
 - (E) WALLS TO REMAIN
 - (N) WALL
 - (E) PARTIAL HEIGHT WALL
 - (N) PARTIAL HEIGHT WALL
 - (N) DIE WALL
 - DOOR TAG - SEE SCHEDULE ON SHEET A6.1
 - WINDOW TAG - SEE SCHEDULE ON SHEET A6.1
 - WALL FINISH - SEE FINISH SCHEDULE
 - FLOOR FINISH - SEE FINISH SCHEDULE
 - SPECIAL FINISH - SEE FINISH SCHEDULE
 - EQUIPMENT TAG - SEE SCHEDULE ON SHEET #LayD(ref)
 - KEY NOTE
 - RESIDENTIAL CODE NOTE, SEE SHEET #LayD(ref)
- | ROOM | ROOM NAME | ROOM NUMBER | AREA OF ROOM |
|----------|-----------|-------------|--------------|
| 104 | | | |
| 67 sq ft | | | |



1 EXISTING & DEMO ROOF PLAN
SCALE: 1/4" = 1'-0"



ROOF PLAN LEGEND

-  EXTERIOR WALL OF BUILDING BELOW
-  (E) ROOF AREA TO REMAIN
-  (E) ROOF AREA TO BE REMOVED
-  (N) ROOF AREA
-  SPECIAL FINISH - SEE FINISH SCHEDULE
-  KEY NOTE

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

THE QUALITY OF A BUILDING
CONSTRUCTED AS A GUARANTEE
REMAINS THE RESPONSIBILITY OF
THE ARCHITECT. THE ARCHITECT
DOES NOT WARRANT THAT THE
DRAWINGS OR SPECIFICATIONS
WILL BE ULTIMATELY SUBJECT
TO ALL APPLICABLE LOCAL, STATE
AND FEDERAL REGULATIONS,
LAW AND CODE REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A1.10
Plotted On: 5/26/22

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

THE SUBJECT OF THIS BUILDING CONTRACT SHALL NOT BE CONSIDERED AS A GUARANTEE THAT ALL CONDITIONS HAVE BEEN REVEALED IN THE DOCUMENT. THE GENERAL CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR ENSURING THAT ALL CONDITIONS OF THE PROJECT COMPLY WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

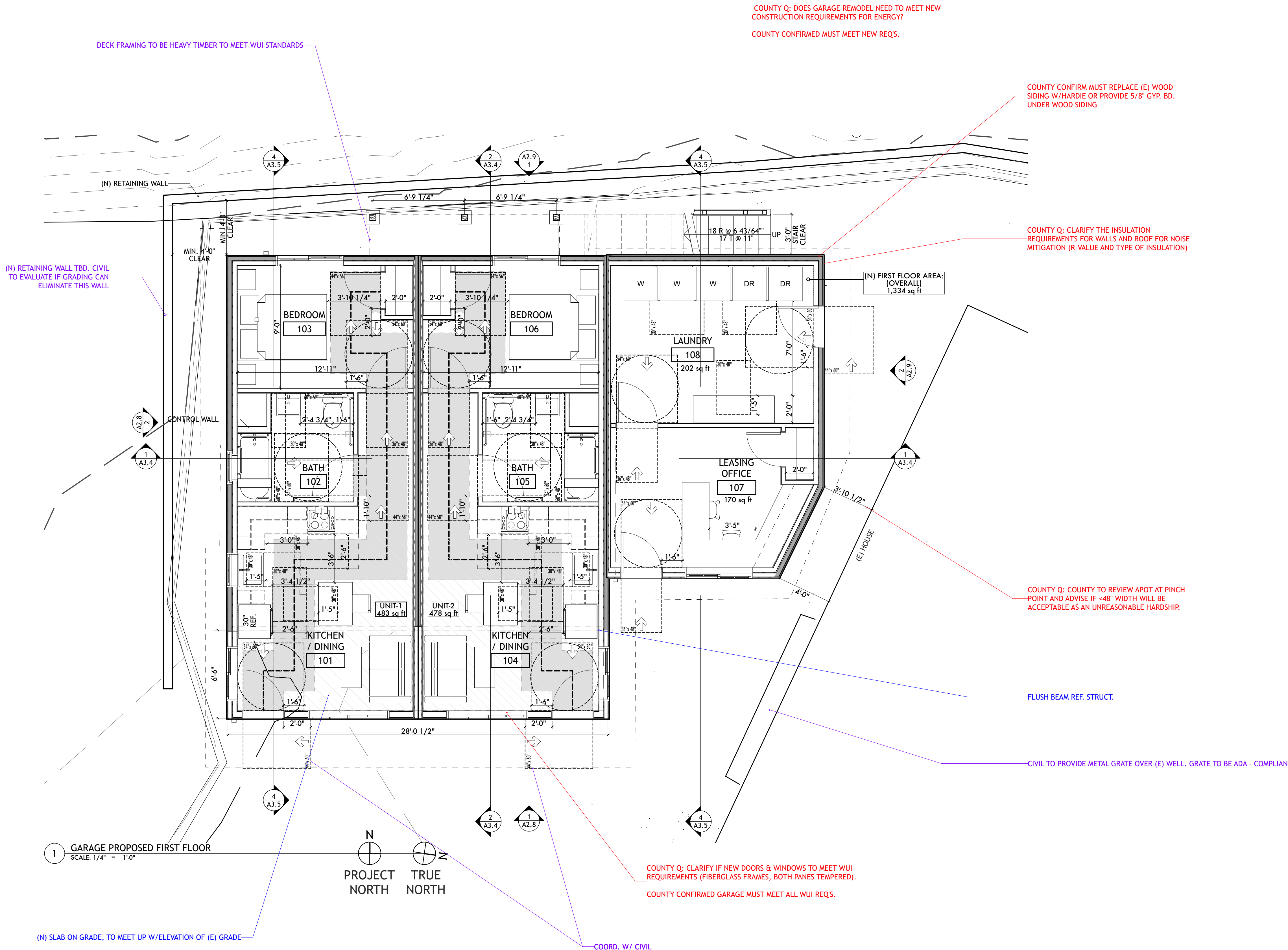
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A1.11
Plotted On: 5/26/22

GARAGE PROPOSED FIRST FLOOR PLAN



FLOOR PLAN LEGEND

- (E) WALLS TO BE REMOVED
- (E) WALLS TO REMAIN
- (N) WALL
- (E) PARTIAL HEIGHT WALL
- (N) PARTIAL HEIGHT WALL
- (N) DIE WALL
- DOOR TAG - SEE SCHEDULE ON SHEET A6.1
- WINDOW TAG - SEE SCHEDULE ON SHEET A6.1
- WALL FINISH - SEE FINISH SCHEDULE
- FLOOR FINISH - SEE FINISH SCHEDULE
- SPECIAL FINISH - SEE FINISH SCHEDULE
- EQUIPMENT TAG - SEE SCHEDULE ON SHEET #lay0(ref)
- KEY NOTE
- RESIDENTIAL CODE NOTE, SEE SHEET #lay0(ref)
- ROOM**
- ROOM NAME
- ROOM NUMBER
- AREA OF ROOM

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF A BUILDING
 FORM SHALL NOT BE
 CONSIDERED AS A GUARANTEE
 THAT ALL DEFECTS
 ARE REVEALED IN THE
 DOCUMENT. THE GENERAL
 CONTRACTOR SHALL BE ULTIMATELY
 RESPONSIBLE FOR ENSURING
 THAT THE PROJECT COMPLETION
 COMPLES WITH ALL
 REGULATIONS, LAWS AND CODE
 REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
 MEASURE ONE INCH (1") EXACTLY,
 THIS DRAWING WILL HAVE BEEN
 ENLARGED OR REDUCED,
 AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A1.12
 Plotted On: 5/26/22

GARAGE PROPOSED SECOND FLOOR PLAN

FLOOR PLAN LEGEND

- (E) WALLS TO BE REMOVED
- (E) WALLS TO REMAIN
- (N) WALL
- (E) PARTIAL HEIGHT WALL
- (N) PARTIAL HEIGHT WALL
- (N) DIE WALL
- DOOR TAG - SEE SCHEDULE ON SHEET A6.1
- WINDOW TAG - SEE SCHEDULE ON SHEET A6.1
- WALL FINISH - SEE FINISH SCHEDULE
- FLOOR FINISH - SEE FINISH SCHEDULE
- SPECIAL FINISH - SEE FINISH SCHEDULE
- EQUIPMENT TAG - SEE SCHEDULE ON SHEET #LayD(ref)
- KEY NOTE
- RESIDENTIAL CODE NOTE, SEE SHEET #LayD(ref)
- ROOM**
- ROOM NAME
- ROOM NUMBER
- AREA OF ROOM

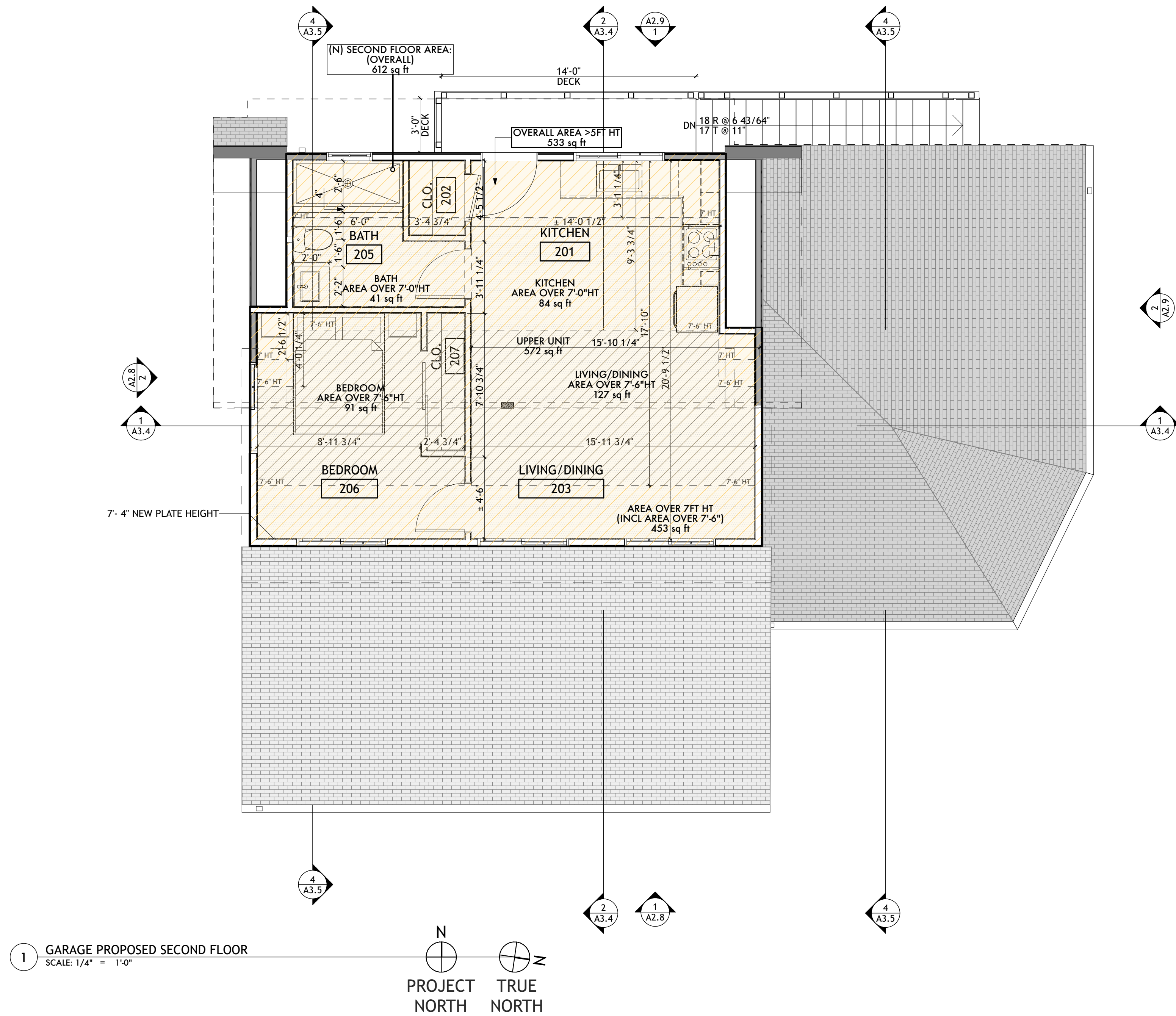
HEAD HEIGHT CALCULATIONS :

KITCHEN : 128 SF
 AREA OVER 7'-0" : 84 SF
 50 % x 128 SF = 64 SF < 84 SF PROVIDED

BATH : 60 SF
 AREA OVER 7'-0" : 41 SF
 50 % x 60 SF = 30 SF < 41 SF PROVIDED

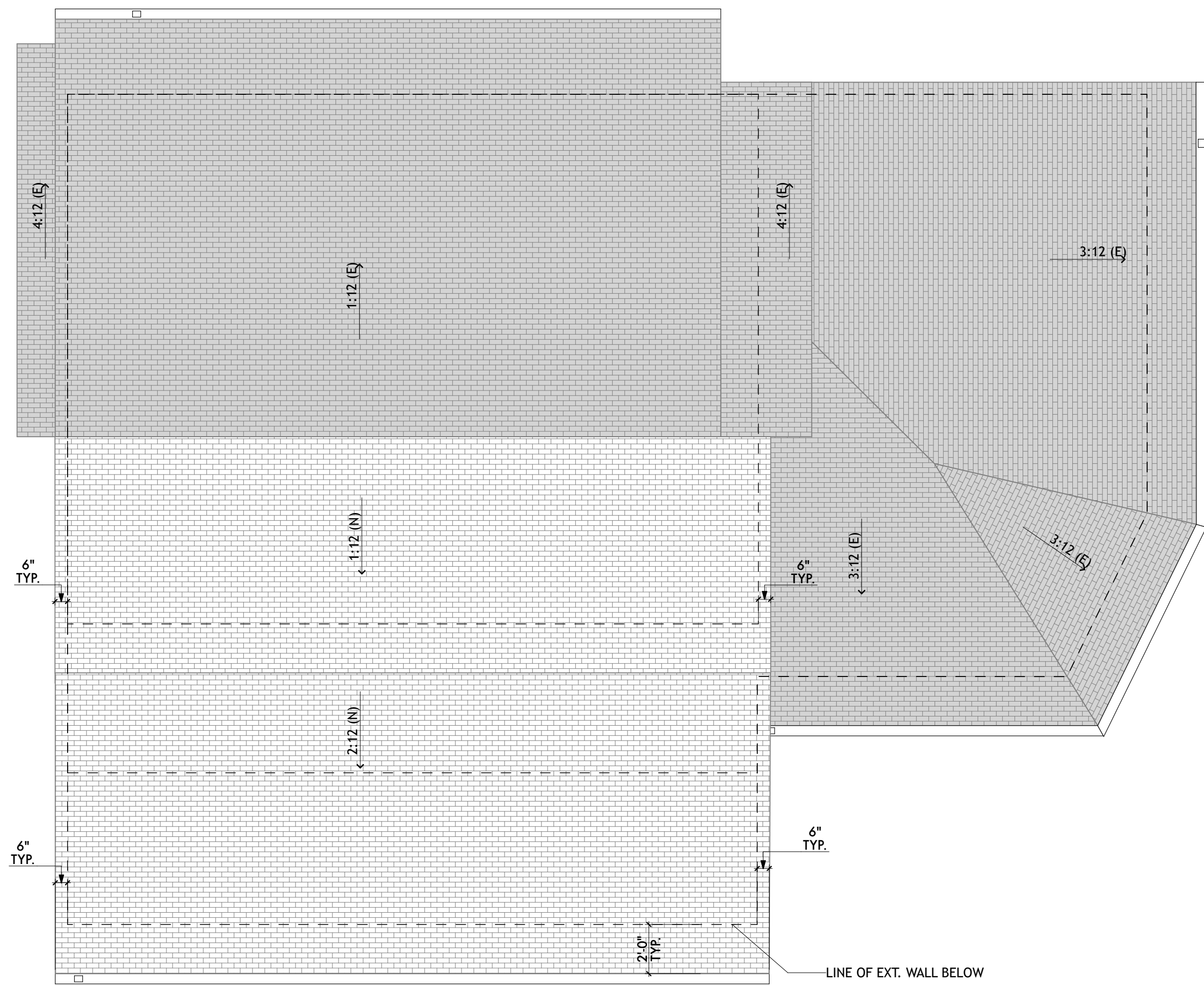
LIVING/DINING : 177 SF
 AREA OVER 7'-6" : 127 SF
 50 % x 177 SF = 88.5 SF < 127 SF PROVIDED

BEDROOM : 122 SF
 AREA OVER 7'-6" : 91 SF
 50 % x 122 SF = 61 SF < 91 SF PROVIDED

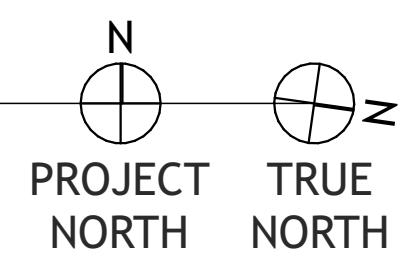


1 GARAGE PROPOSED SECOND FLOOR
 SCALE: 1/4" = 1'-0"


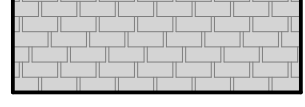
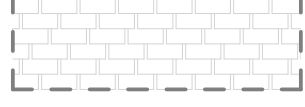
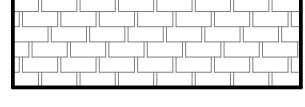


N
 PROJECT TRUE NORTH



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



ROOF PLAN LEGEND

-  EXTERIOR WALL OF BUILDING BELOW
-  (E) ROOF AREA TO REMAIN
-  (E) ROOF AREA TO BE REMOVED
-  (N) ROOF AREA
-  SPECIAL FINISH - SEE FINISH SCHEDULE
-  KEY NOTE

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

THE QUALITY OF A BUILDING CONSTRUCTED AS A GUARANTEE FROM SHALL NOT BE AFFECTED BY THE CHANGES THAT ARE REFLECTED IN THIS DOCUMENT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE PROJECT COMPLETION COMPLES WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

← ACTUAL →

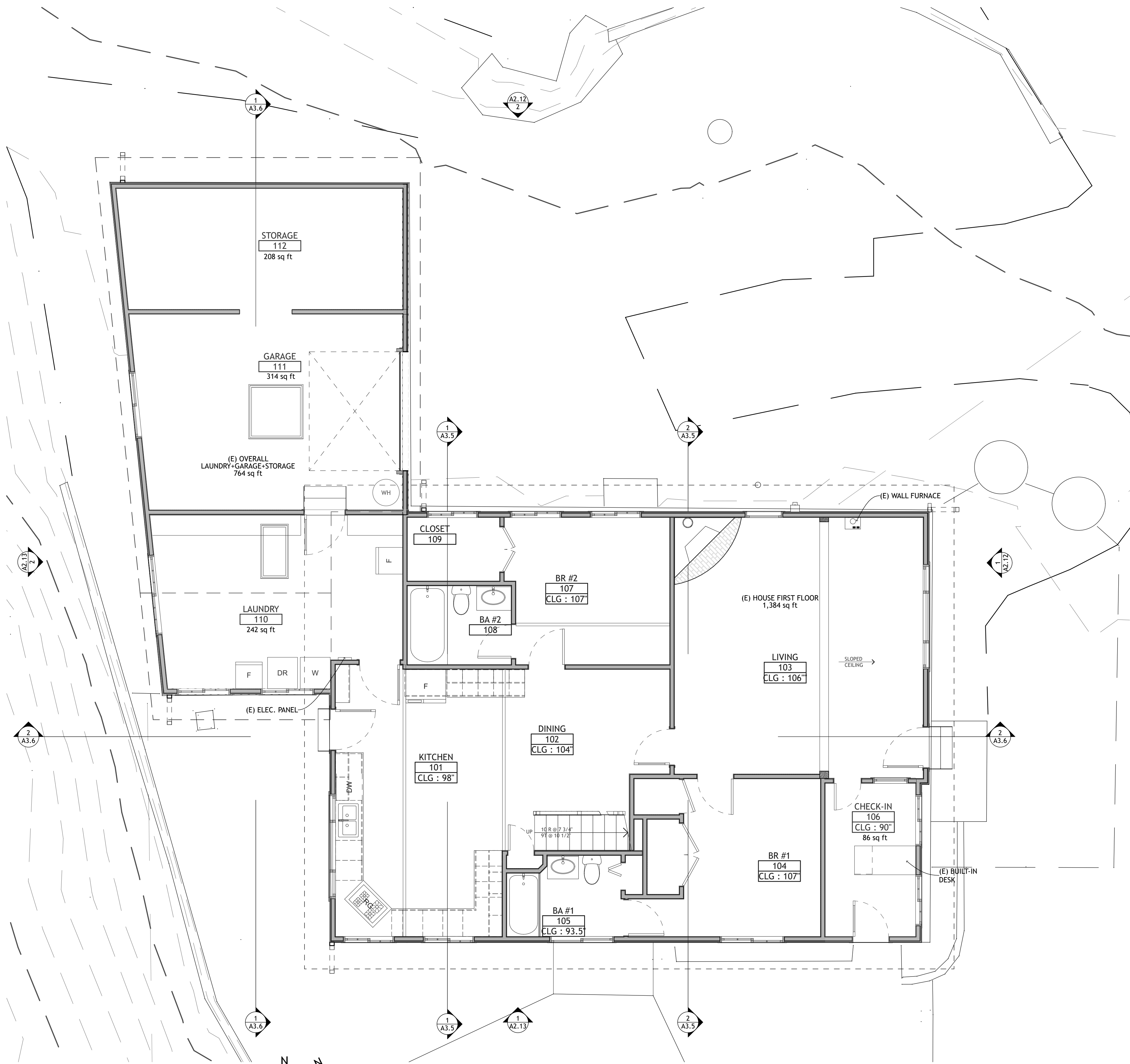
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A1.13
Plotted On: 5/26/22

GARAGE PROPOSED ROOF PLAN



1 HOUSE EXISTING & DEMO FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PROJECT NORTH TRUE NORTH

FLOOR PLAN LEGEND

- (E) WALLS TO BE REMOVED
 - (E) WALLS TO REMAIN
 - (N) WALL
 - (E) PARTIAL HEIGHT WALL
 - (N) PARTIAL HEIGHT WALL
 - (N) DIE WALL
 - DOOR TAG - SEE SCHEDULE ON SHEET A6.1
 - WINDOW TAG - SEE SCHEDULE ON SHEET A6.1
 - WALL FINISH - SEE FINISH SCHEDULE
 - FLOOR FINISH - SEE FINISH SCHEDULE
 - SPECIAL FINISH - SEE FINISH SCHEDULE
 - EQUIPMENT TAG - SEE SCHEDULE ON SHEET #Lay(D)(ref)
 - KEY NOTE
 - RESIDENTIAL CODE NOTE, SEE SHEET #Lay(D)(ref)
- ROOM**
- | | |
|----------|--------------|
| 104 | ROOM NAME |
| 104 | ROOM NUMBER |
| 67 sq ft | AREA OF ROOM |

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF A BUILDING
 CONSTRUCTED AS A GUARANTEE
 THAT ALL WORKMANSHIP
 IS IN ACCORDANCE WITH THE
 REQUIREMENTS OF THE
 CONTRACT DOCUMENTS.
 THE ARCHITECT SHALL BE
 RESPONSIBLE FOR ENSURING
 THAT THE WORKMANSHIP
 COMPLETES WITH ALL
 REGULATIONS, LAWS AND CODE
 REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
 MEASURE ONE INCH (1") EXACTLY,
 THIS DRAWING WILL HAVE BEEN
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 AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A1.14
 Plotted On: 5/26/22

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF THE BUILDING
 CONSTRUCTION SHALL BE
 GUARANTEED AS A GUARANTEE
 THAT ALL WORKMANSHIP
 AND MATERIALS USED IN THE
 CONSTRUCTION SHALL BE
 RESPONSIBLE FOR ENSURING
 THE PROJECT COMPLETION
 WITH ALL APPLICABLE
 REGULATIONS, LAWS AND CODE
 REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
 MEASURE ONE INCH (1") EXACTLY,
 THIS DRAWING WILL HAVE BEEN
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 AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

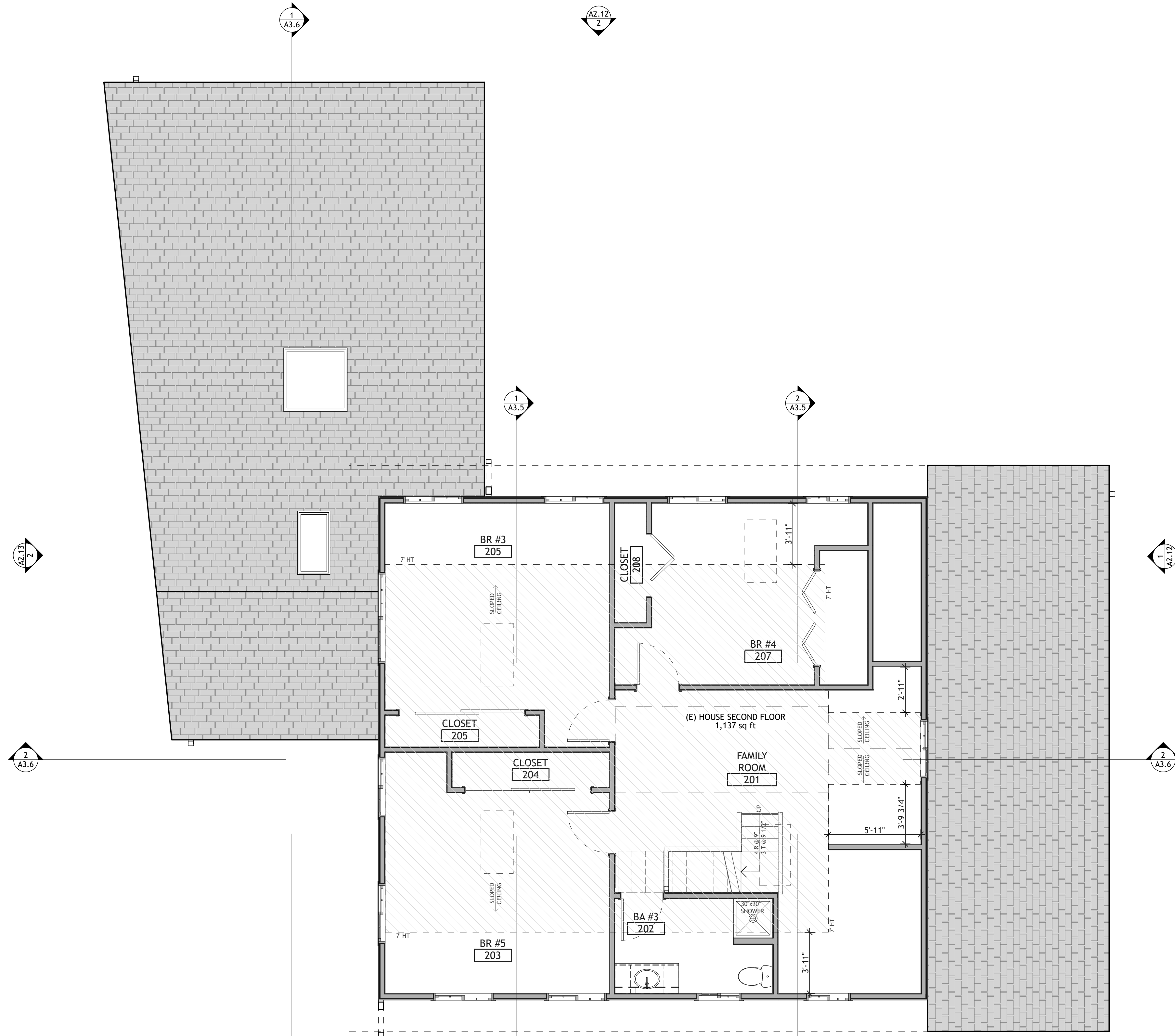
Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A1.15
 Plotted On: 5/26/22

HOUSE EXISTING-DEMO SECOND FLOOR PLAN

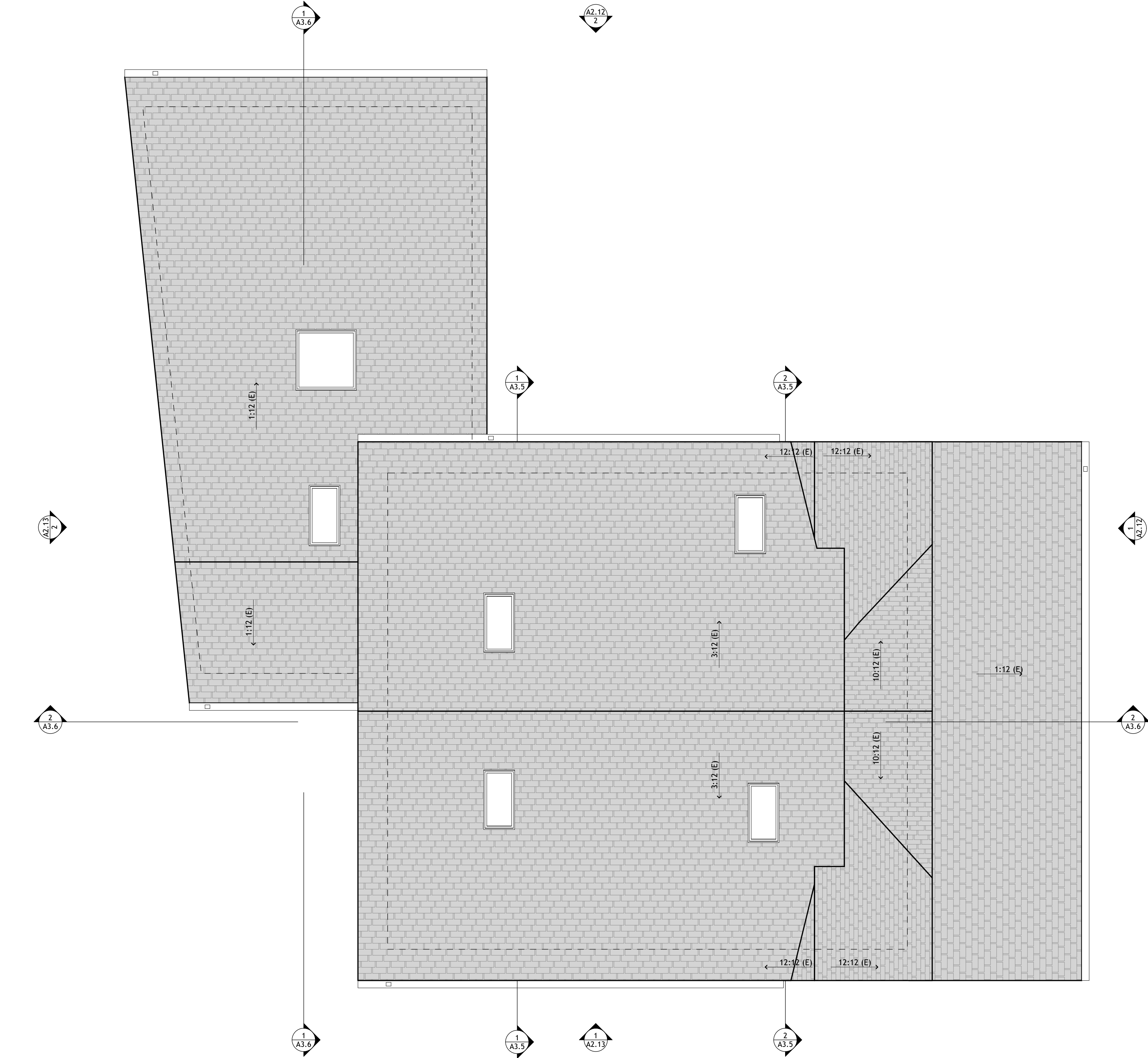
FLOOR PLAN LEGEND

- (E) WALLS TO BE REMOVED
- (E) WALLS TO REMAIN
- (N) WALL
- (E) PARTIAL HEIGHT WALL
- (N) PARTIAL HEIGHT WALL
- (N) DIE WALL
- DOOR TAG - SEE SCHEDULE ON SHEET A6.1
- WINDOW TAG - SEE SCHEDULE ON SHEET A6.1
- WALL FINISH - SEE FINISH SCHEDULE
- FLOOR FINISH - SEE FINISH SCHEDULE
- SPECIAL FINISH - SEE FINISH SCHEDULE
- EQUIPMENT TAG - SEE SCHEDULE ON SHEET #LayD(ref)
- KEY NOTE
- RESIDENTIAL CODE NOTE, SEE SHEET #LayD(ref)
- ROOM**
- ROOM NAME
- ROOM NUMBER
- AREA OF ROOM

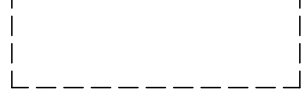
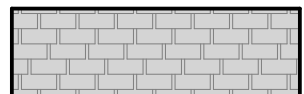
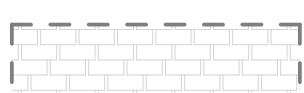





1 HOUSE EXISTING & DEMO SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PROJECT NORTH
 TRUE NORTH



ROOF PLAN LEGEND

-  EXTERIOR WALL OF BUILDING BELOW
-  (E) ROOF AREA TO REMAIN
-  (E) ROOF AREA TO BE REMOVED
-  (N) ROOF AREA
-  SPECIAL FINISH - SEE FINISH SCHEDULE
-  KEY NOTE

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

THE QUALITY OF A BUILDING
 CONSTRUCTED AS A GUARANTEE
 FROM SHALL NOT BE
 THE ARCHITECT'S RESPONSIBILITY
 ARE RELEATED IN THE
 DOCUMENT. THE GENERAL
 CONTRACTOR SHALL BE ULTIMATELY
 RESPONSIBLE FOR ENSURING
 THE COMPLETION OF ALL
 REGULATIONS, LAWS AND CODE
 REQUIREMENTS.

← ACTUAL →
 IF THE ABOVE DIMENSION DOES NOT
 MEASURE ONE INCH (1") EXACTLY,
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 AFFECTING ALL LABELED SCALES.

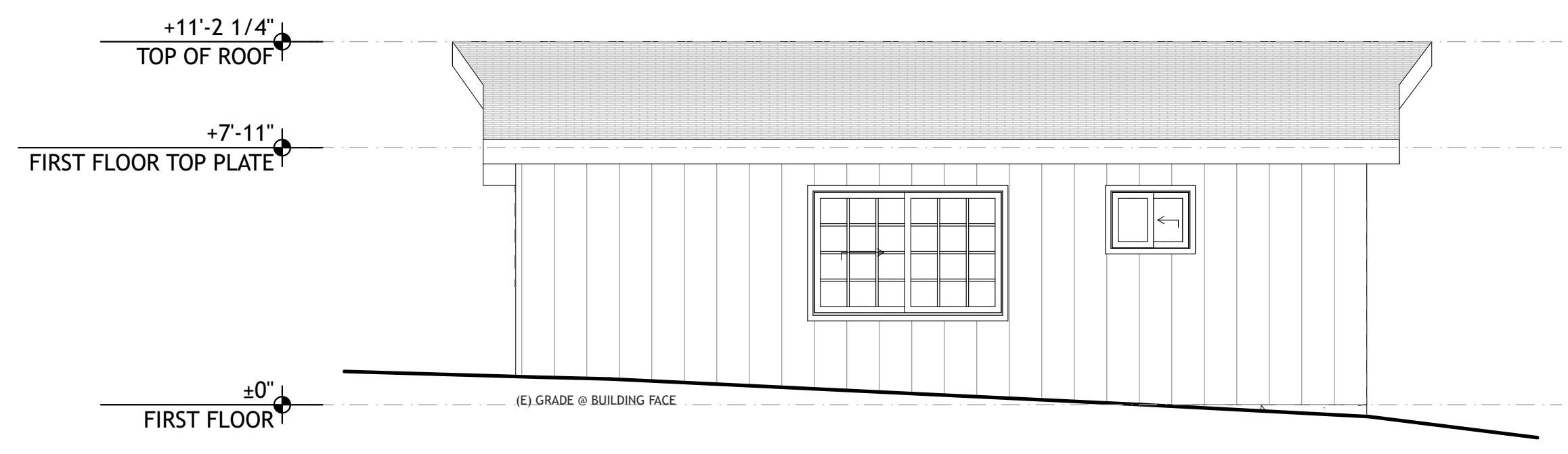
BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

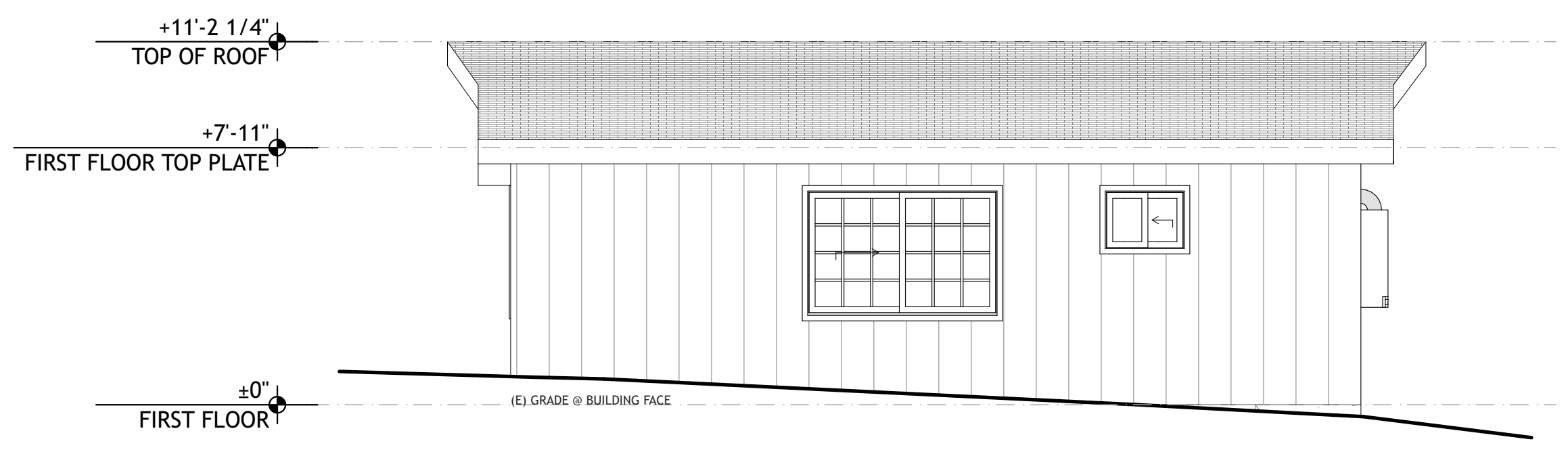
DRG SUBMITTAL
A1.16
 Plotted On: 5/26/22

HOUSE EXISTING-DEMO ROOF PLAN

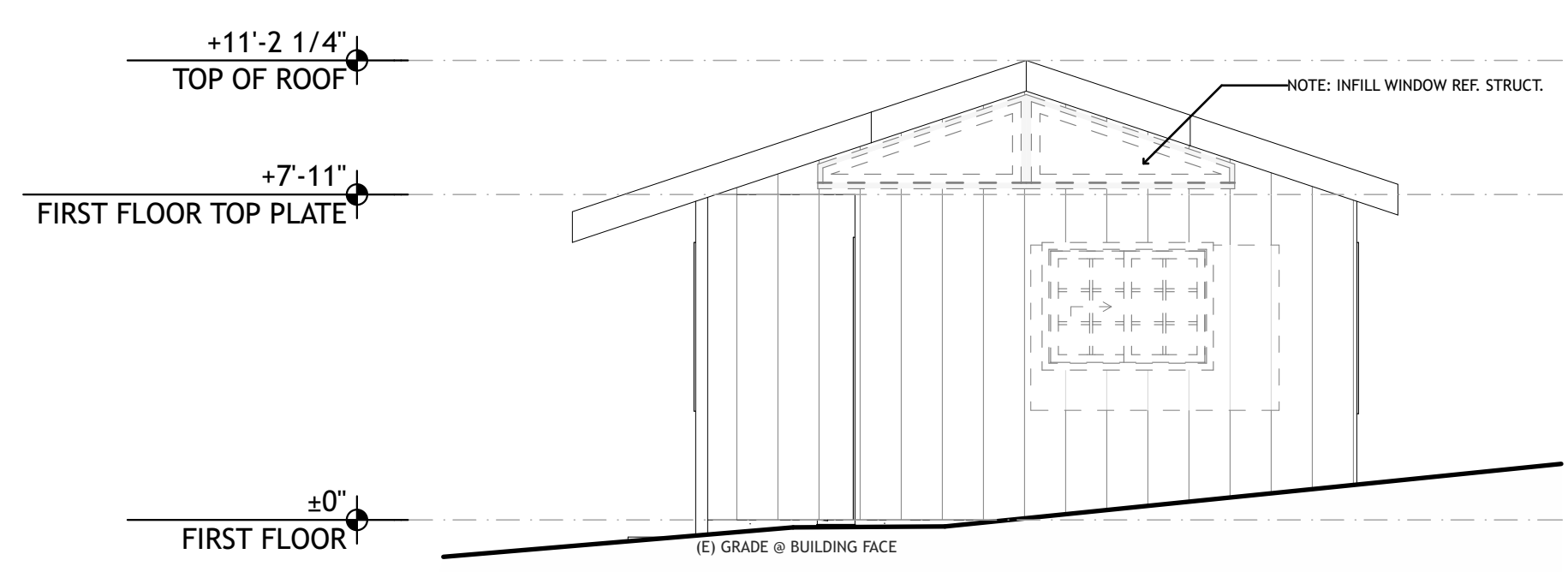
1 HOUSE EXISTING & DEMO ROOF PLAN
 SCALE: 1/4" = 1'-0"
 PROJECT NORTH TRUE NORTH



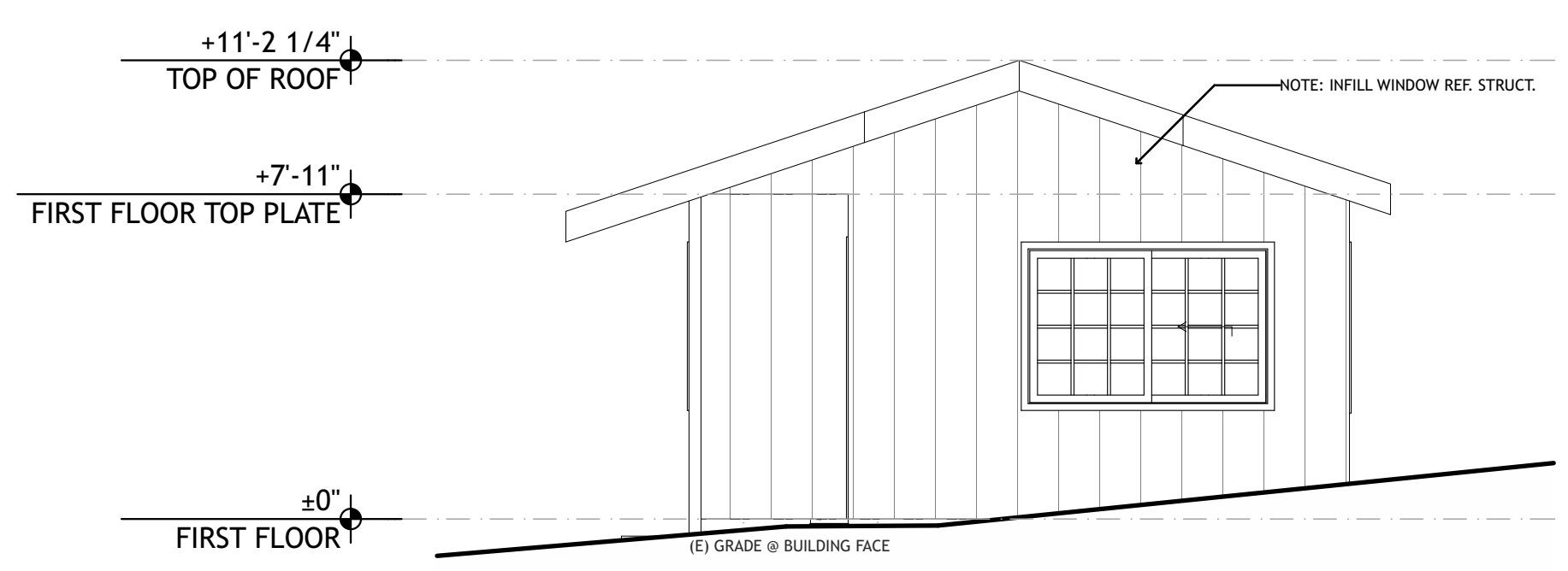
5 CABIN 1 & 3 EXISTING-DEMO NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 CABIN 1 & 3 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



6 CABIN 1 & 3 EXISTING-DEMO EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 CABIN 1 & 3 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

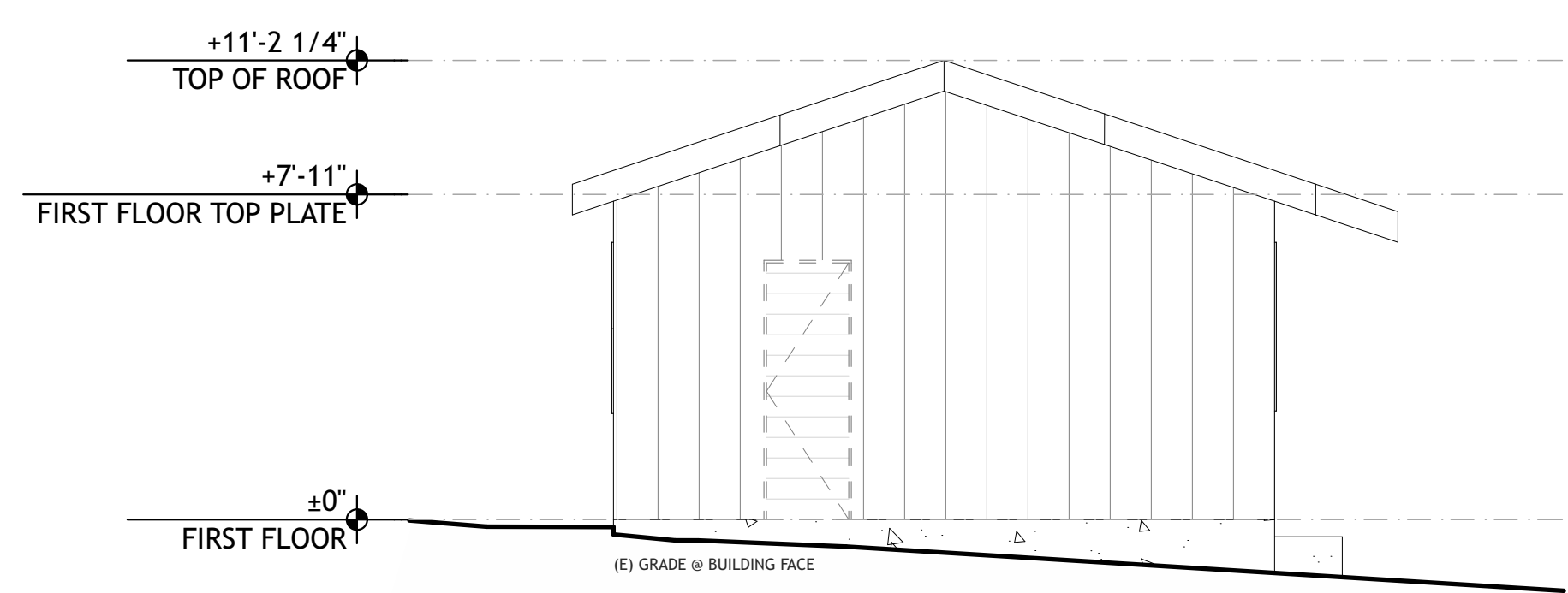
- 01 DOOR TAG - SEE SCHEDULE ON SHEET #LayDir(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #LayDir(ref)
- ±0'-0" T.O. PLATE DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG



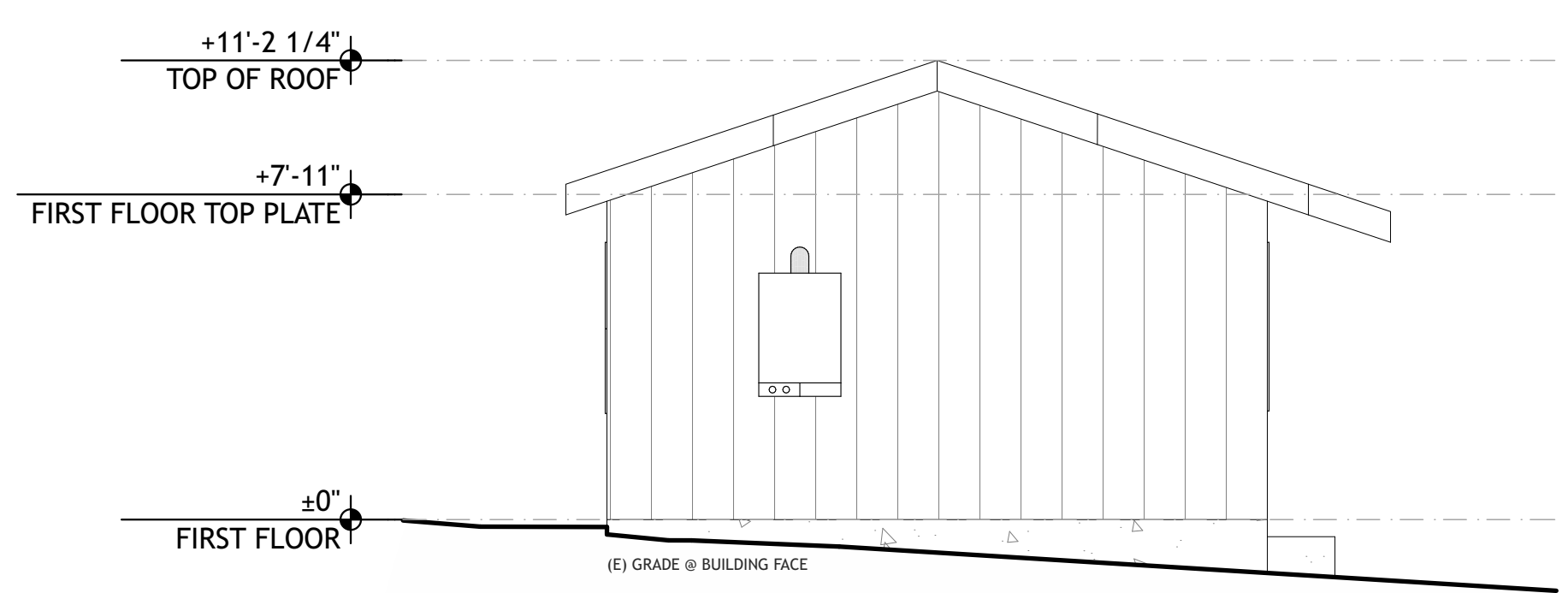
7 CABIN 1 & 3 EXISTING-DEMO SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 CABIN 1 & 3 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



8 CABIN 1 & 3 EXISTING-DEMO WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 CABIN 1 & 3 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

THE QUALITY OF A BUILDING
FORM SHALL NOT BE
CONSIDERED AS A GUARANTEE
OR WARRANTY OF ANY KIND
AND THE ARCHITECT SHALL NOT
BE RESPONSIBLE FOR ANY
CONSTRUCTION DEFECTS OR
VIOLATIONS OF ANY APPLICABLE
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

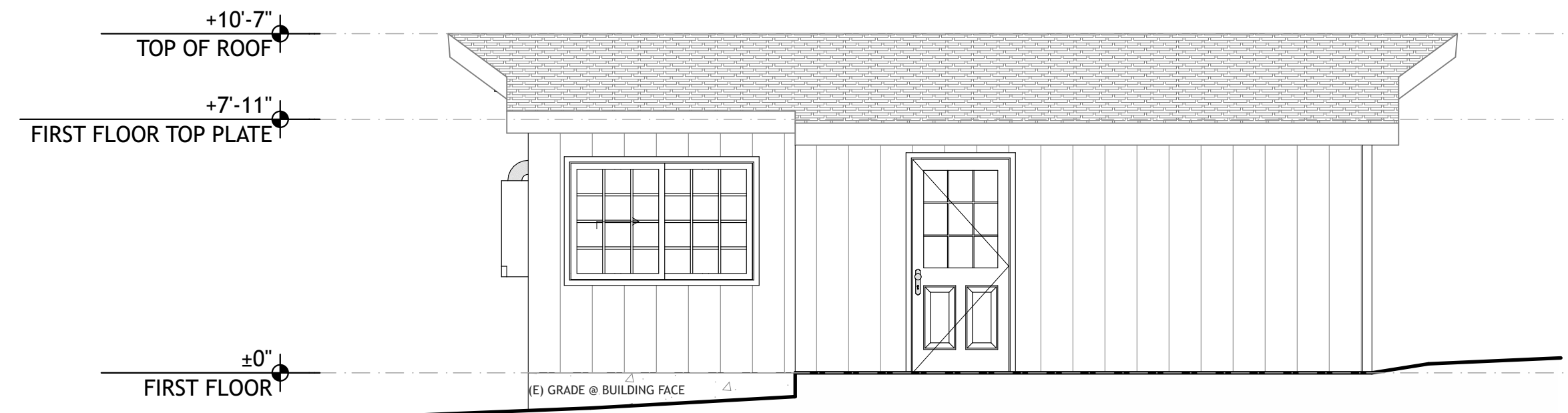
BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

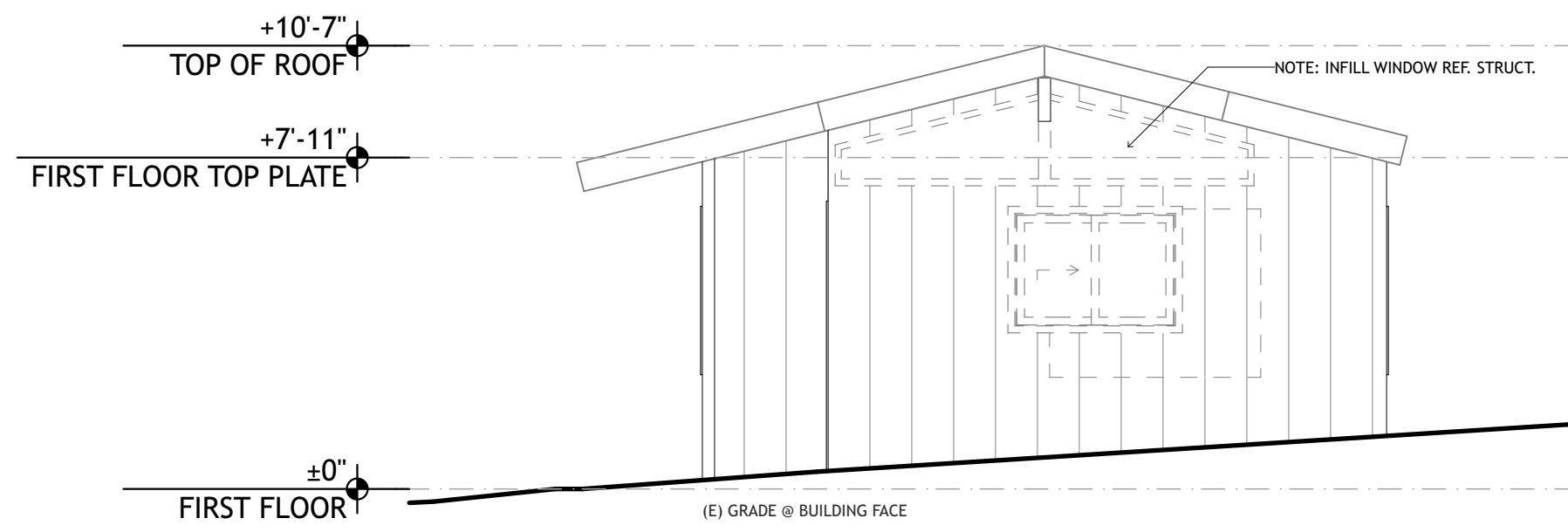
DRG SUBMITTAL
A2.1
Plotted On: 5/26/22



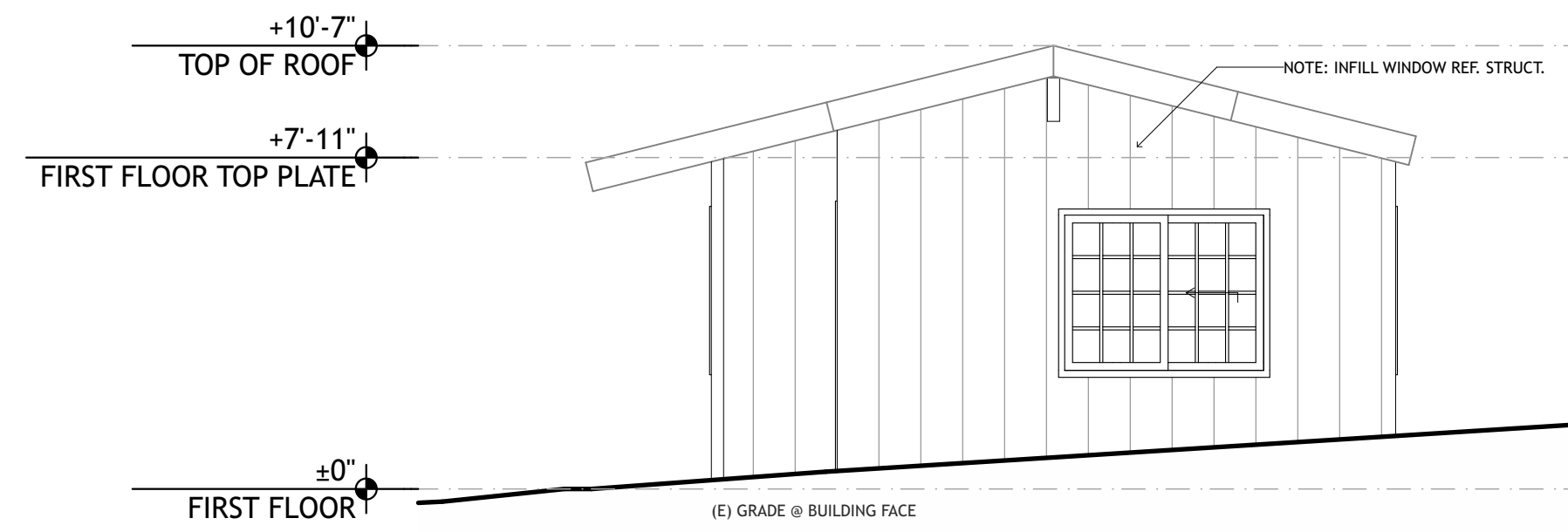
5 CABIN 2&4 EXISTING-DEMO SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



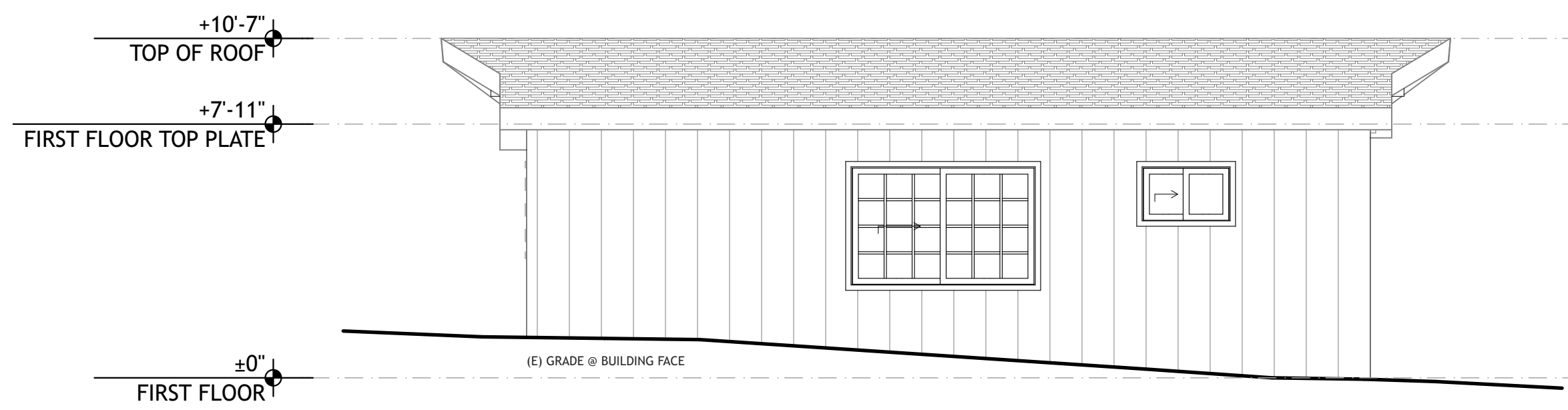
1 CABIN 2&4 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



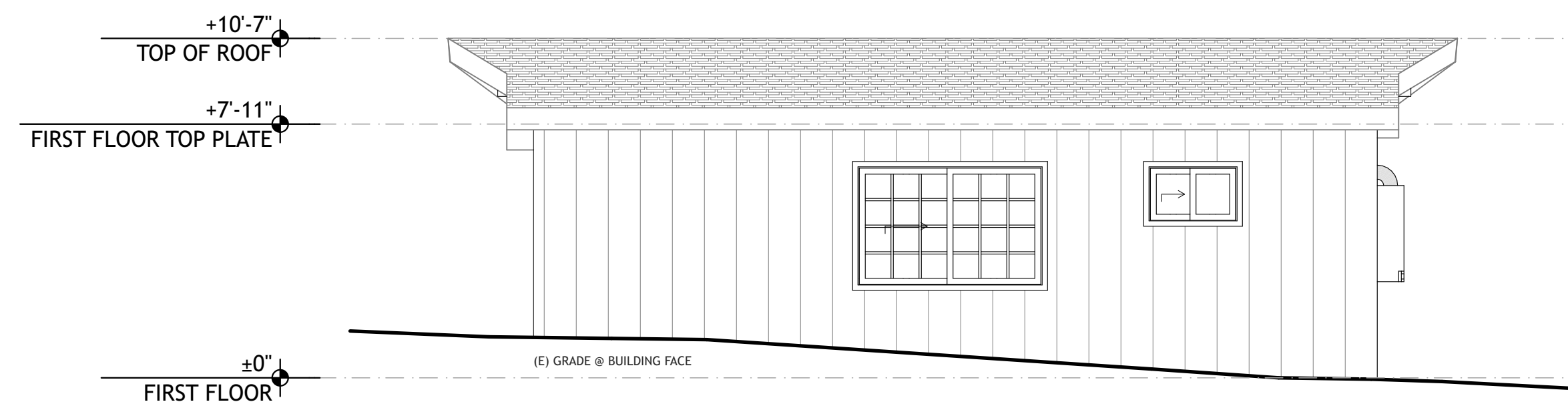
6 CABIN 2&4 EXISTING-DEMO EAST ELEVATION
SCALE: 1/4" = 1'-0"



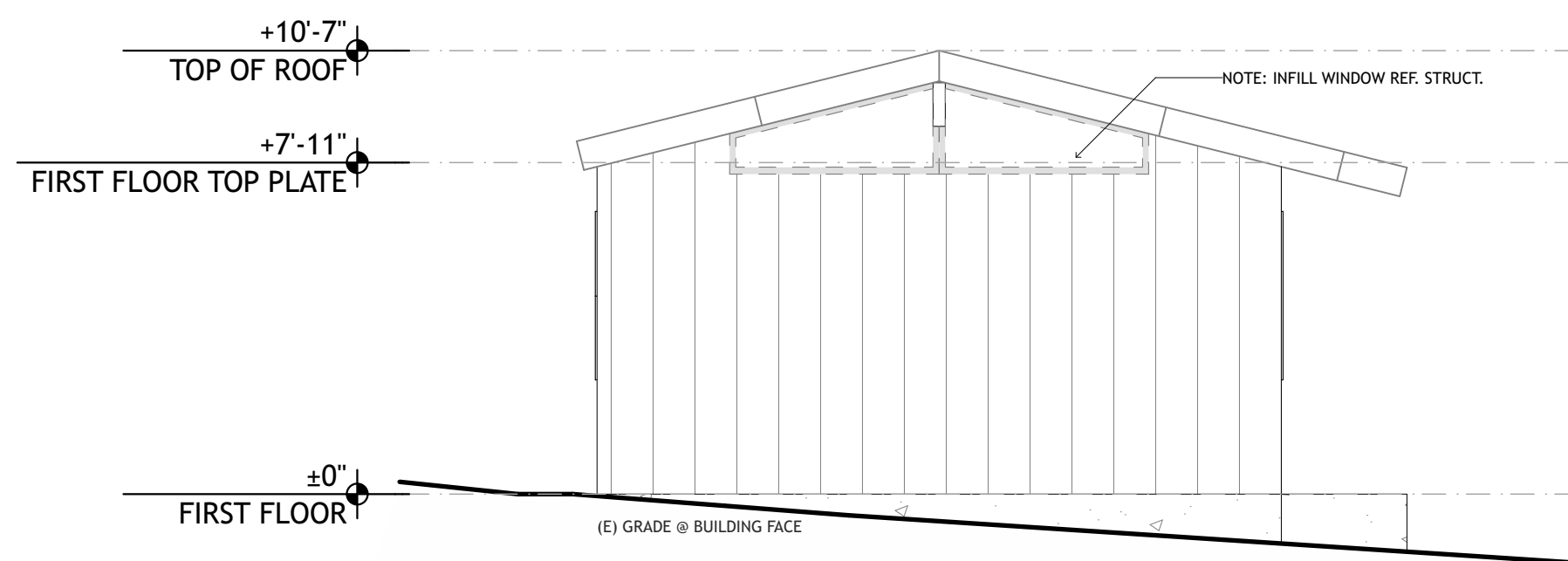
2 CABIN 2&4 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



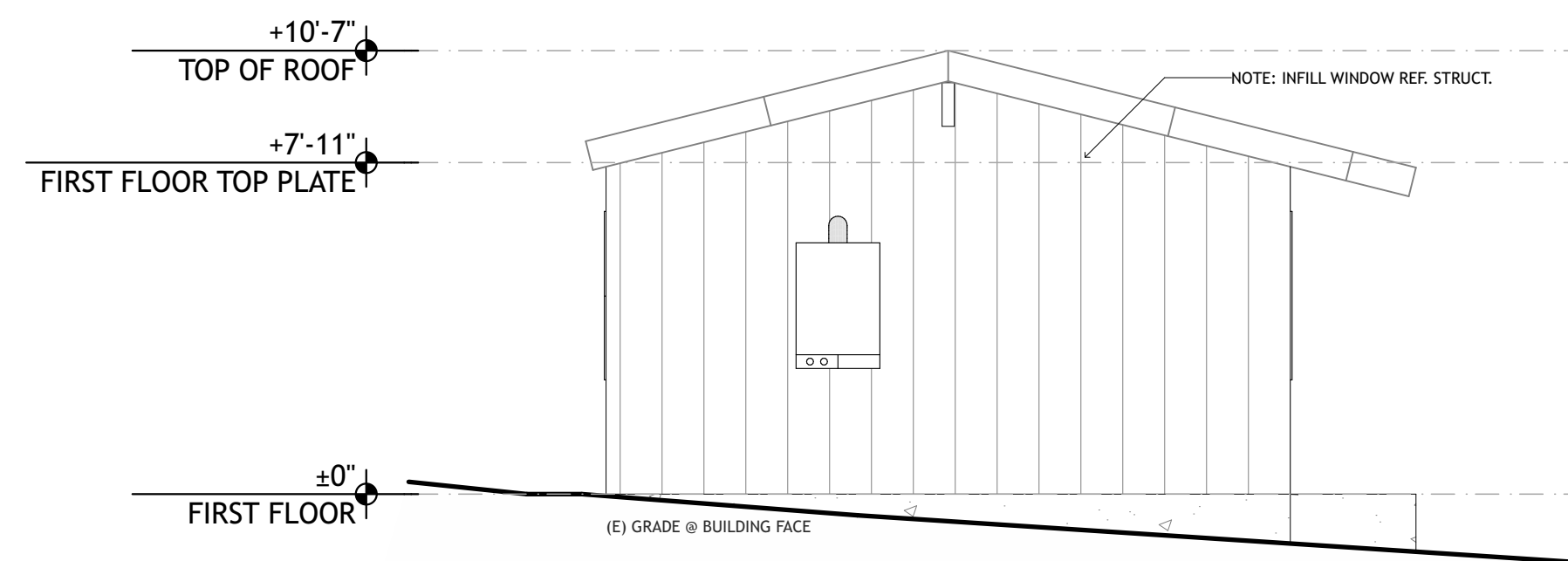
7 CABIN 2&4 EXISTING-DEMO NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 CABIN 2&4 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



8 CABIN 2&4 EXISTING-DEMO WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 CABIN 2&4 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

- 01 DOOR TAG - SEE SCHEDULE ON SHEET #LayD(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #LayDir(ref)
- ±0'-0" DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

THE QUALITY OF THE BUILDING FORM SHALL NOT BE CONSIDERED AS A GUARANTEE THAT ALL ELEMENTS ARE RECORDED IN THE DOCUMENT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A2.2
Plotted On: 5/26/22

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF A BUILDING
 FROM SHALL NOT BE
 CONSIDERED AS A GUARANTEE
 THAT ALL DEFECTS
 THAT ARE REVEALED IN THE
 DOCUMENT, THE GENERAL
 CONTRACTOR SHALL BE ULTIMATELY
 RESPONSIBLE FOR ENSURING
 THE PROJECT COMPLETION
 COMPLIES WITH ALL
 REGULATIONS, LAWS AND CODE
 REQUIREMENTS.

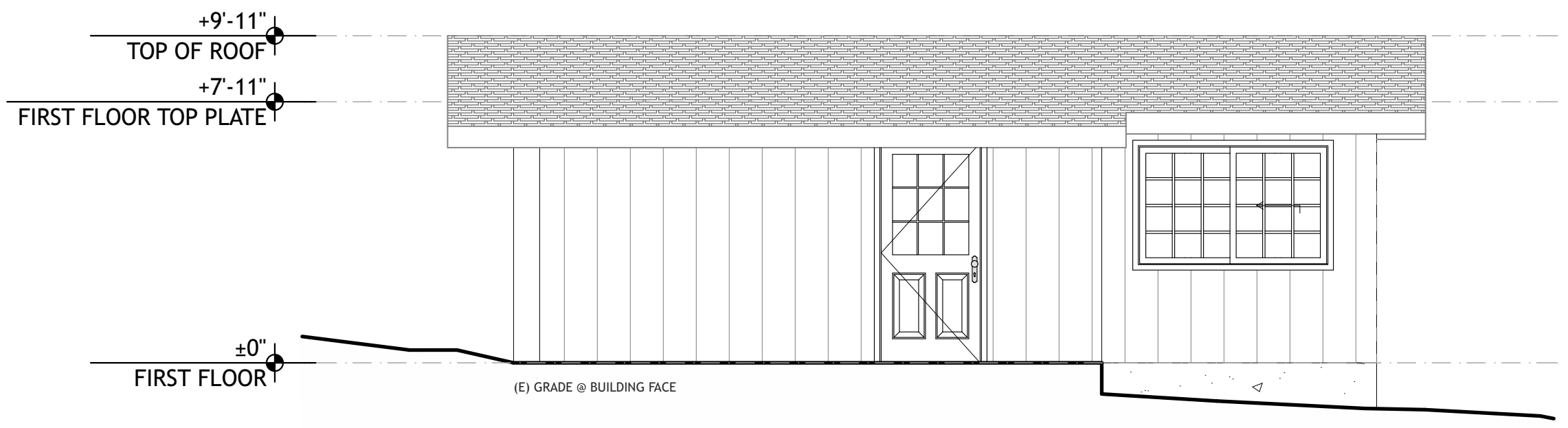
IF THE ABOVE DIMENSION DOES NOT
 MEASURE ONE INCH (1") EXACTLY,
 THIS DRAWING WILL HAVE BEEN
 ENLARGED OR REDUCED,
 AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
	01	

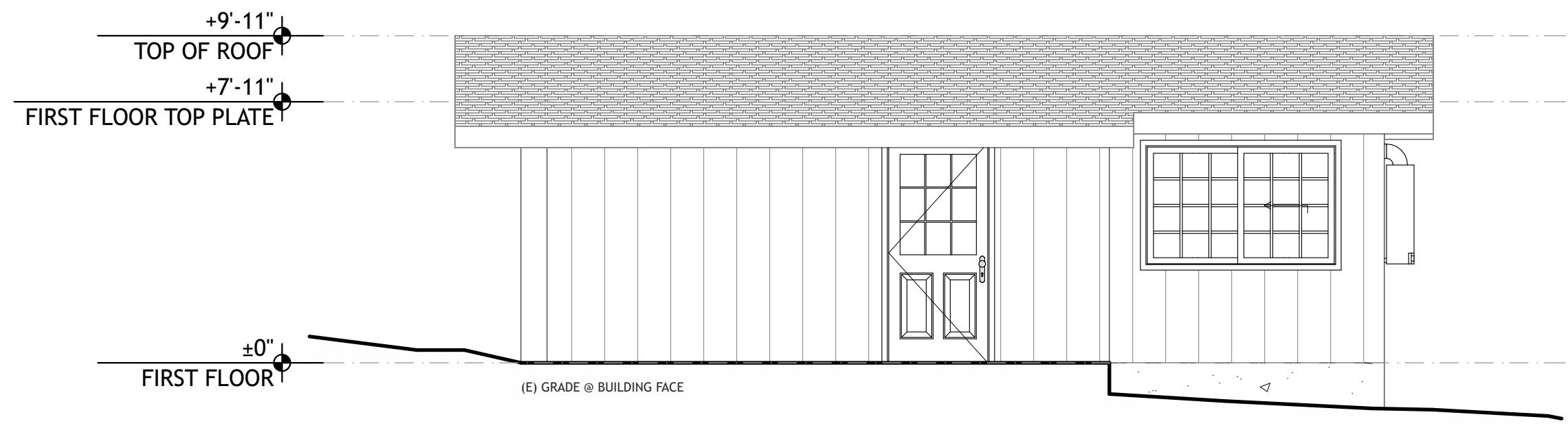
Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A2.3
 Plotted On: 5/26/22

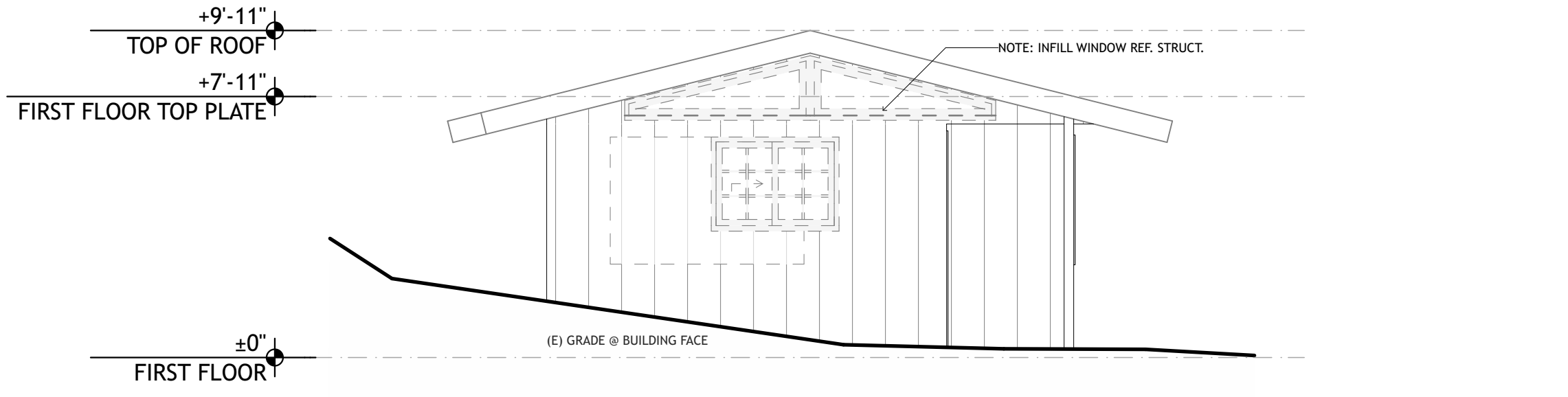
CABIN 5 & 6 EXISTING-DEMO & PROPOSED ELEVATIONS



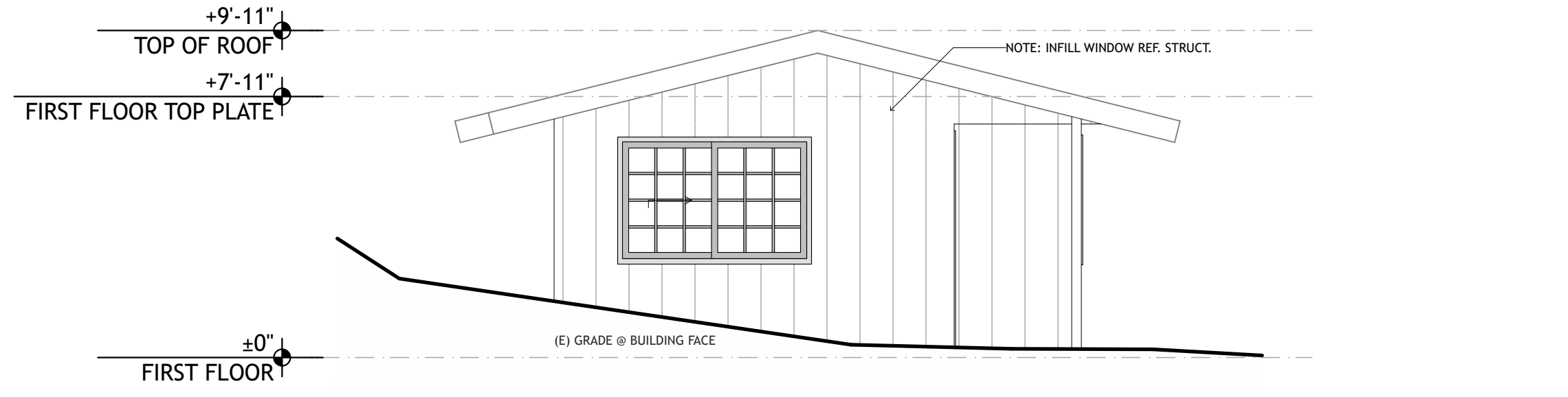
5 CABIN 5 & 6 EXISTING-DEMO NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



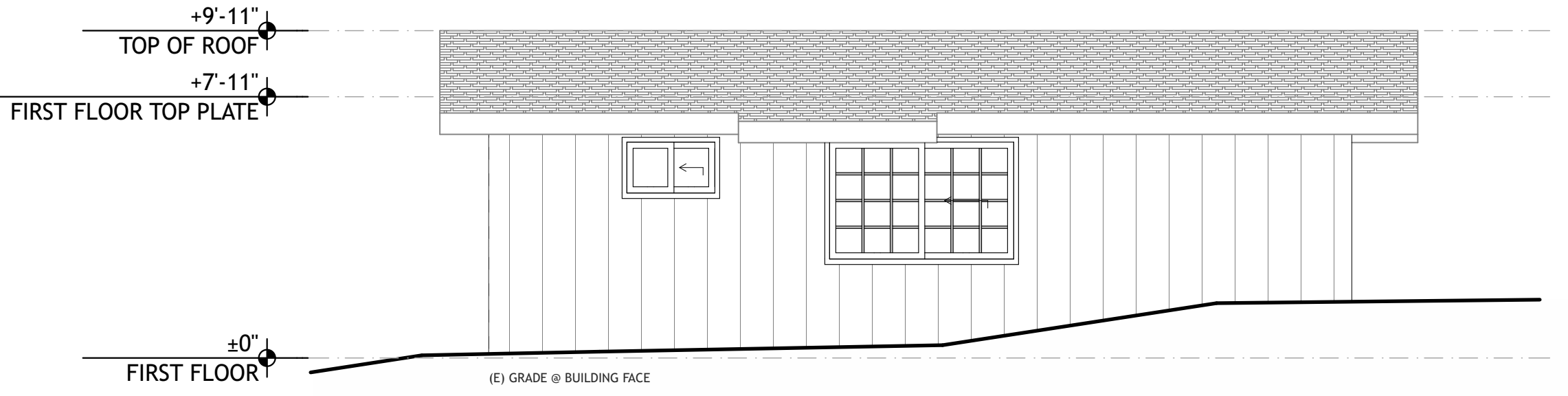
1 CABIN 5 & 6 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



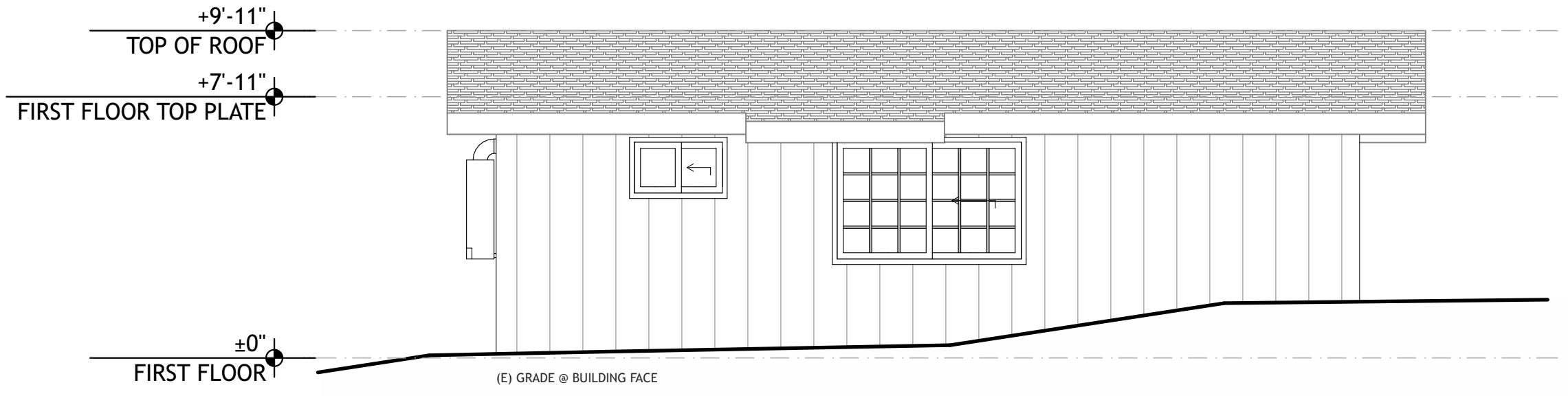
6 CABIN 5 & 6 EXISTING-DEMO EAST ELEVATION
 SCALE: 1/4" = 1'-0"



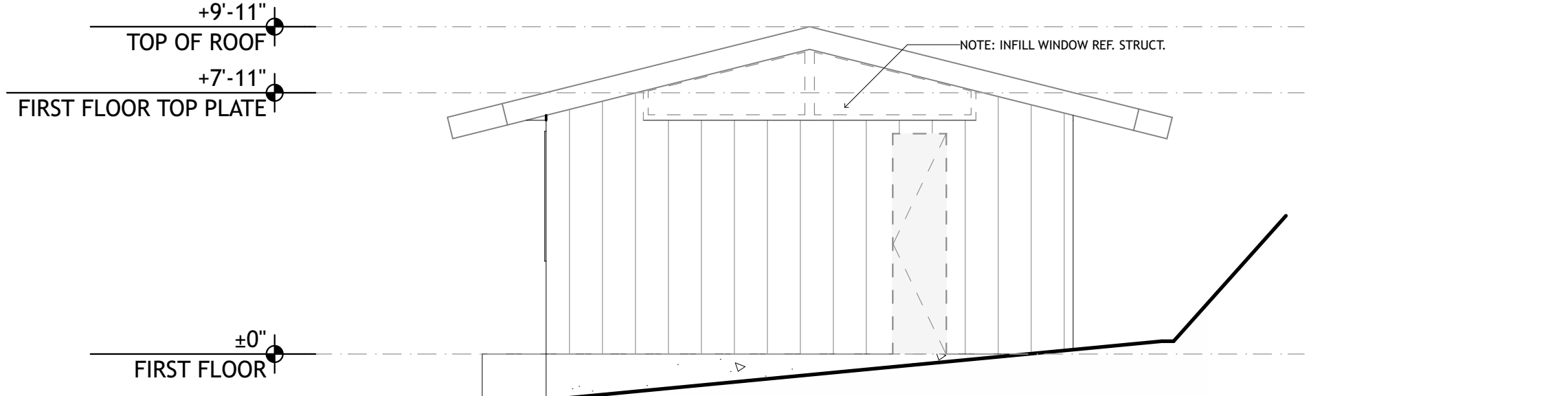
2 CABIN 5 & 6 PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"



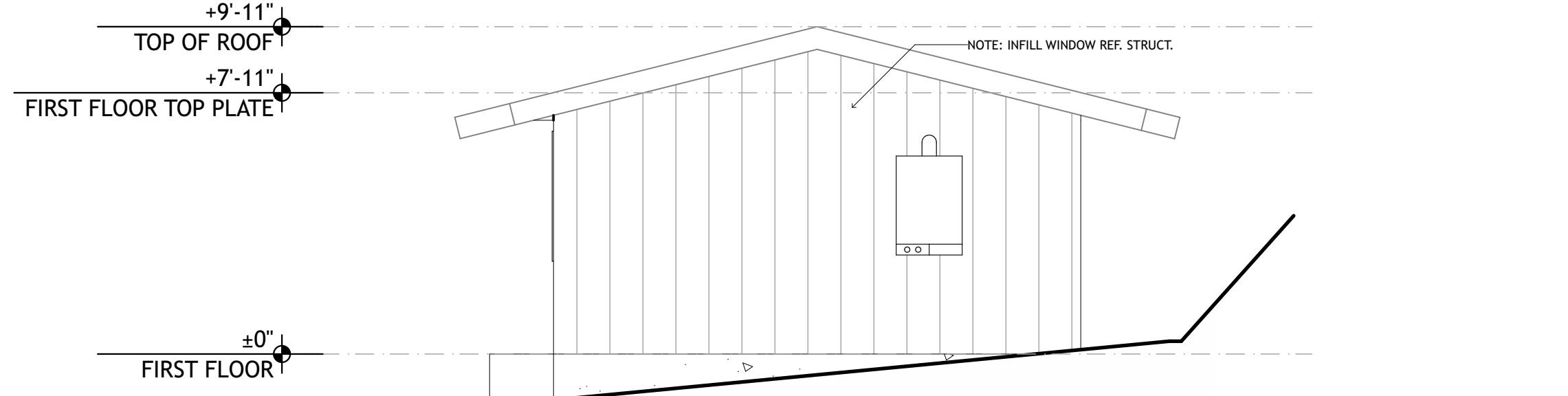
7 CABIN 5 & 6 EXISTING-DEMO SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 CABIN 5 & 6 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



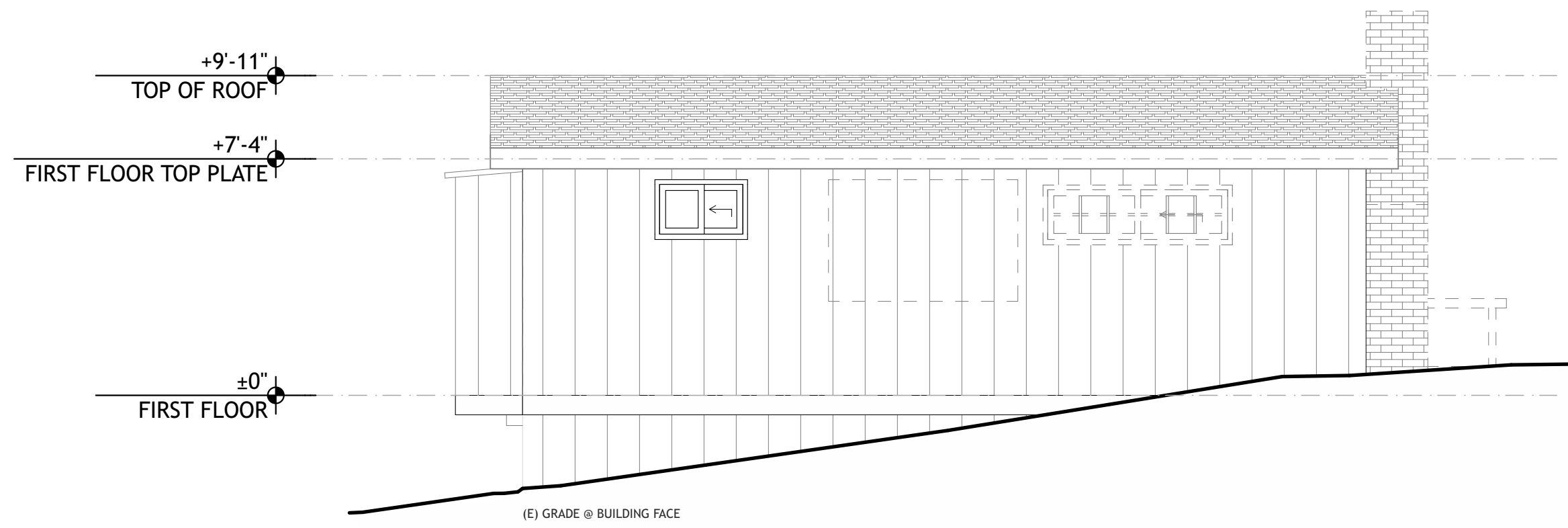
8 CABIN 5 & 6 EXISTING-DEMO WEST ELEVATION
 SCALE: 1/4" = 1'-0"



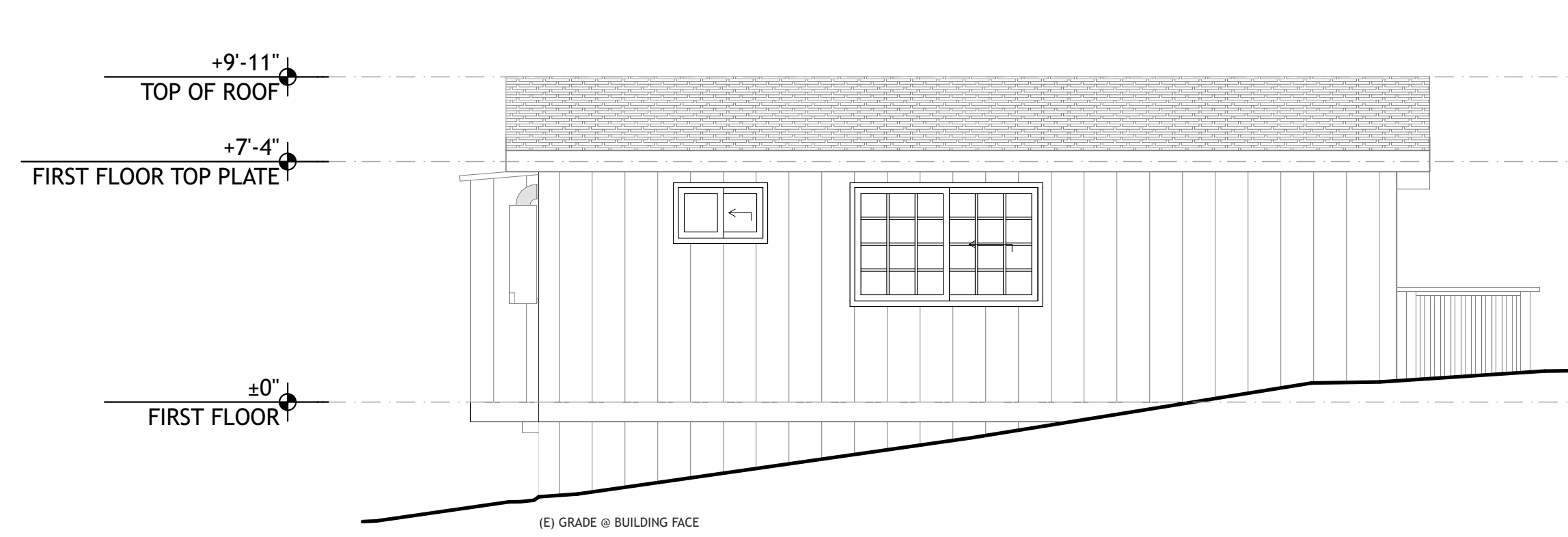
4 CABIN 5 & 6 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

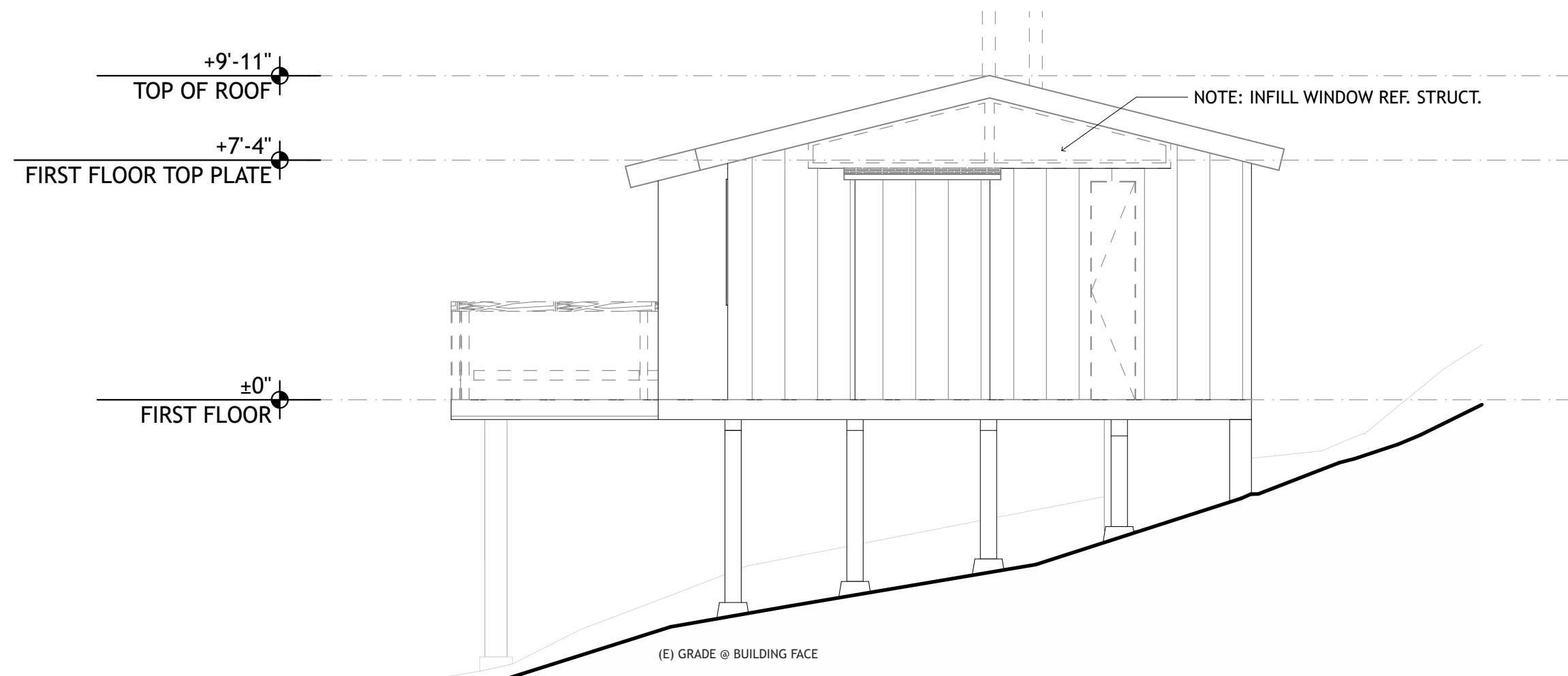
- 01 DOOR TAG - SEE SCHEDULE ON SHEET #LayD(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #LayD(ref)
- ±0'±0" DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG



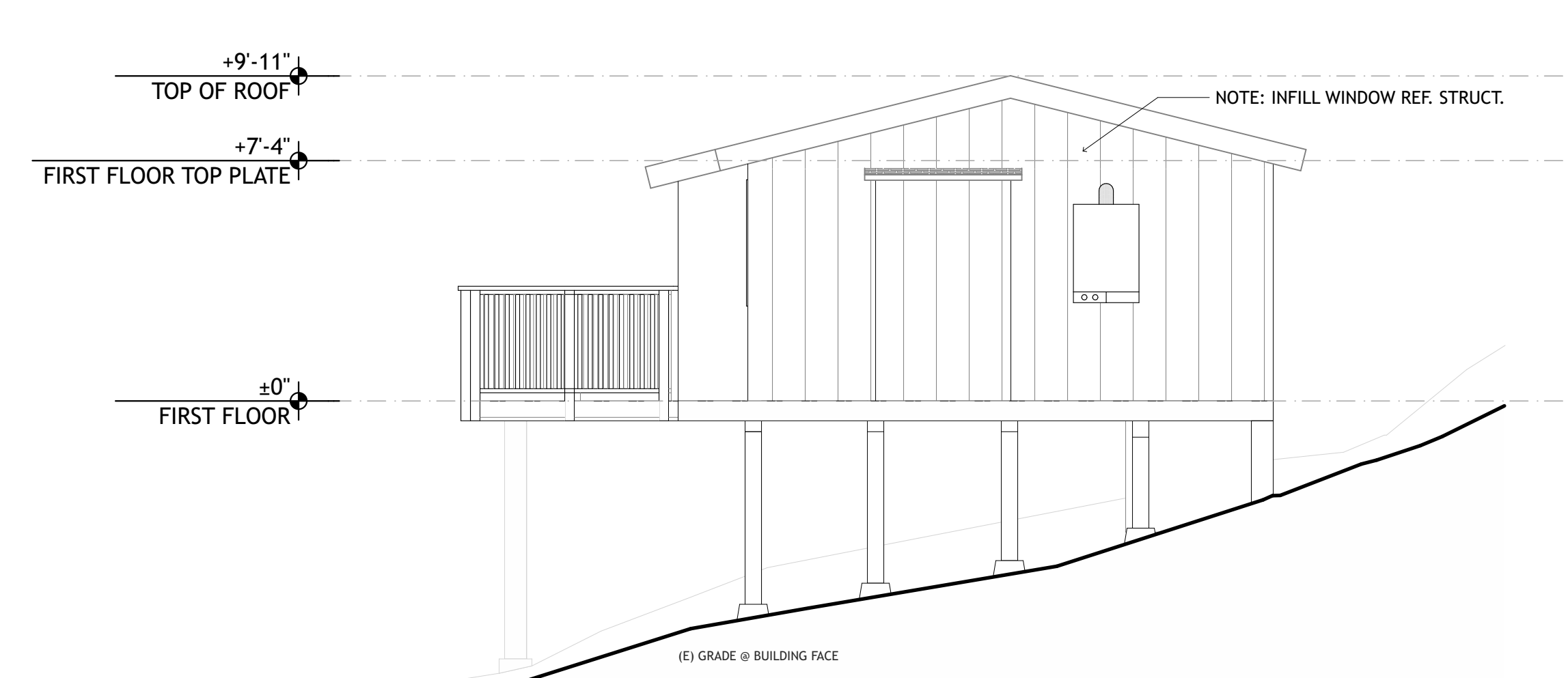
5 CABIN 7 EXISTING-DEMO SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



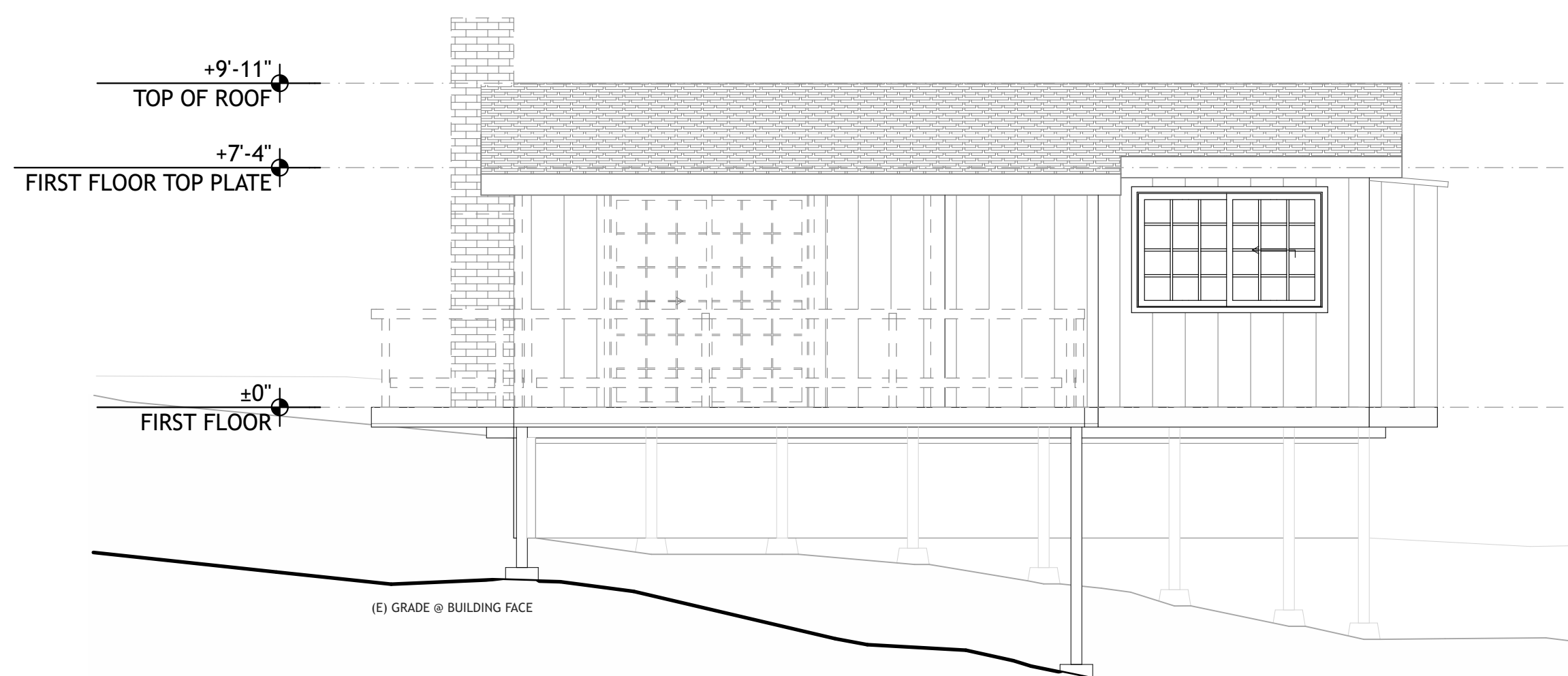
1 CABIN 7 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



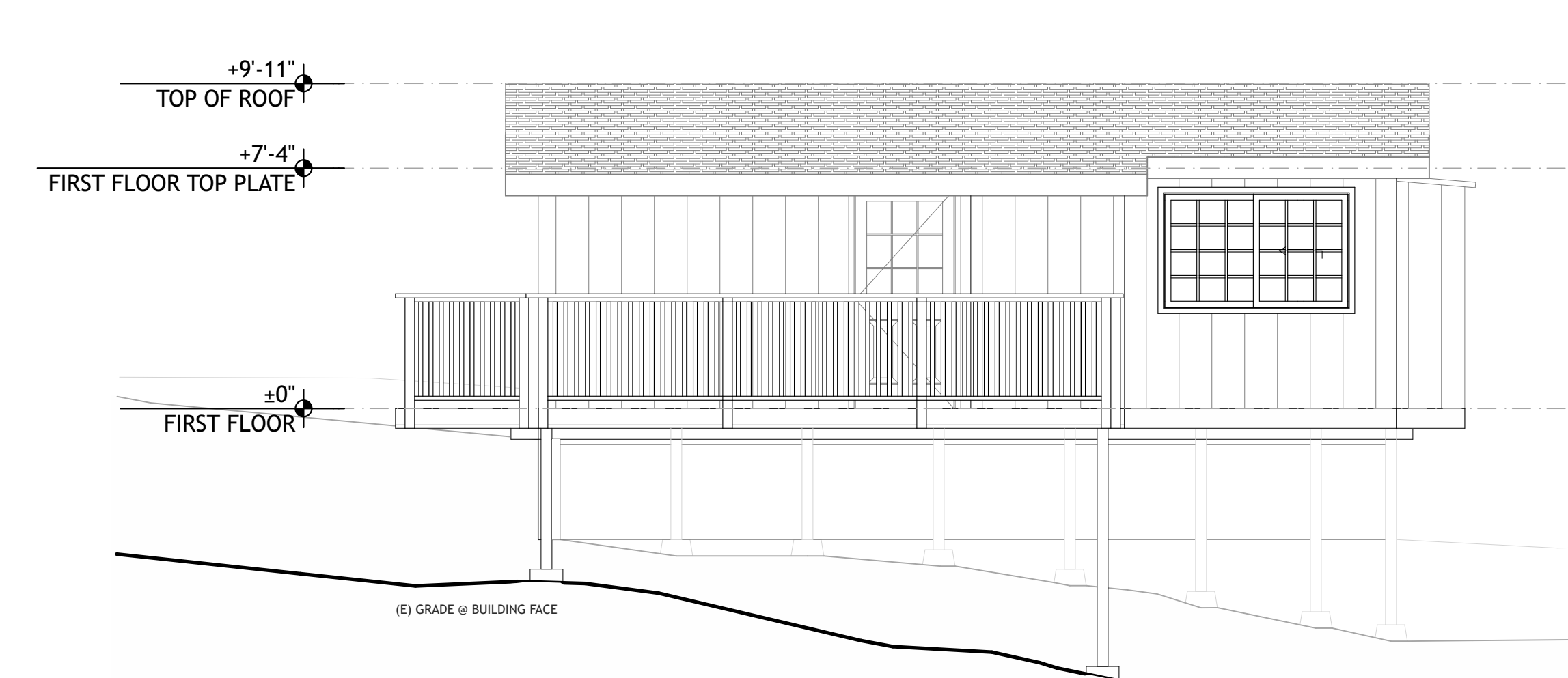
6 CABIN 7 EXISTING-DEMO WEST ELEVATION
SCALE: 1/4" = 1'-0"



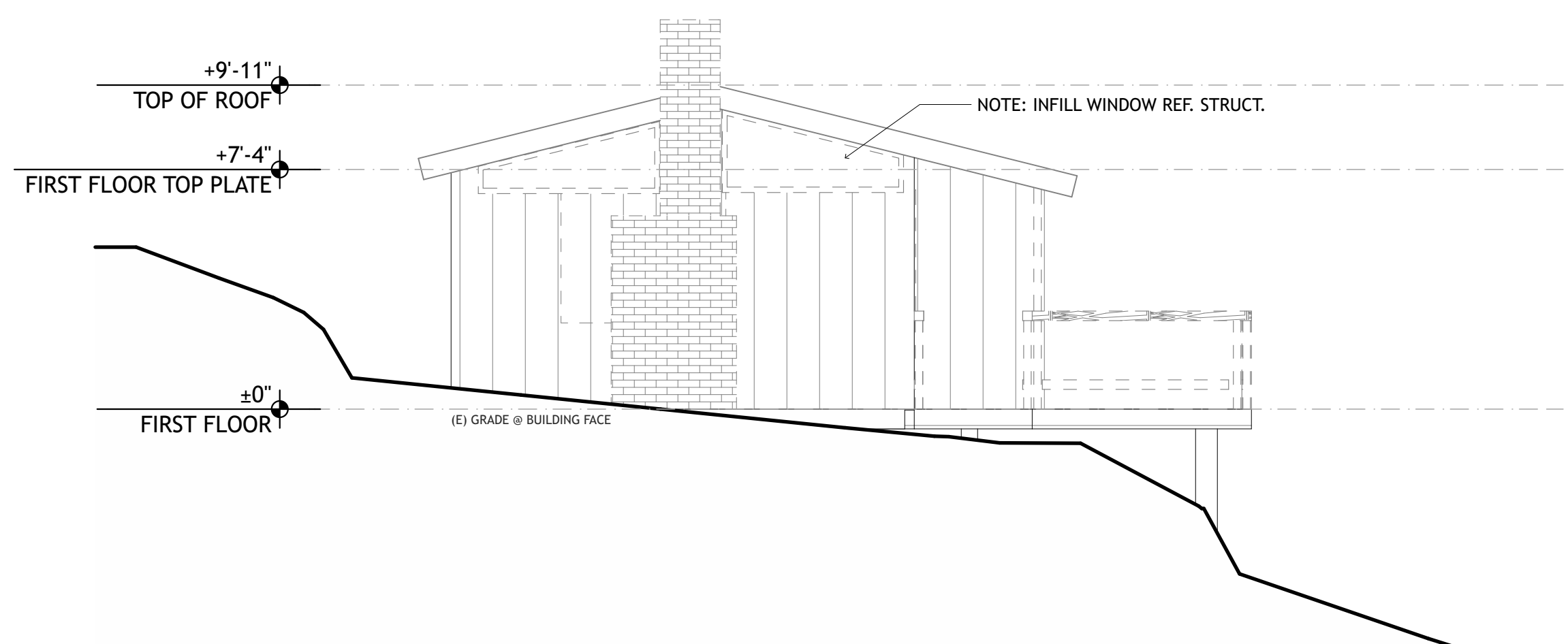
2 CABIN 7 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



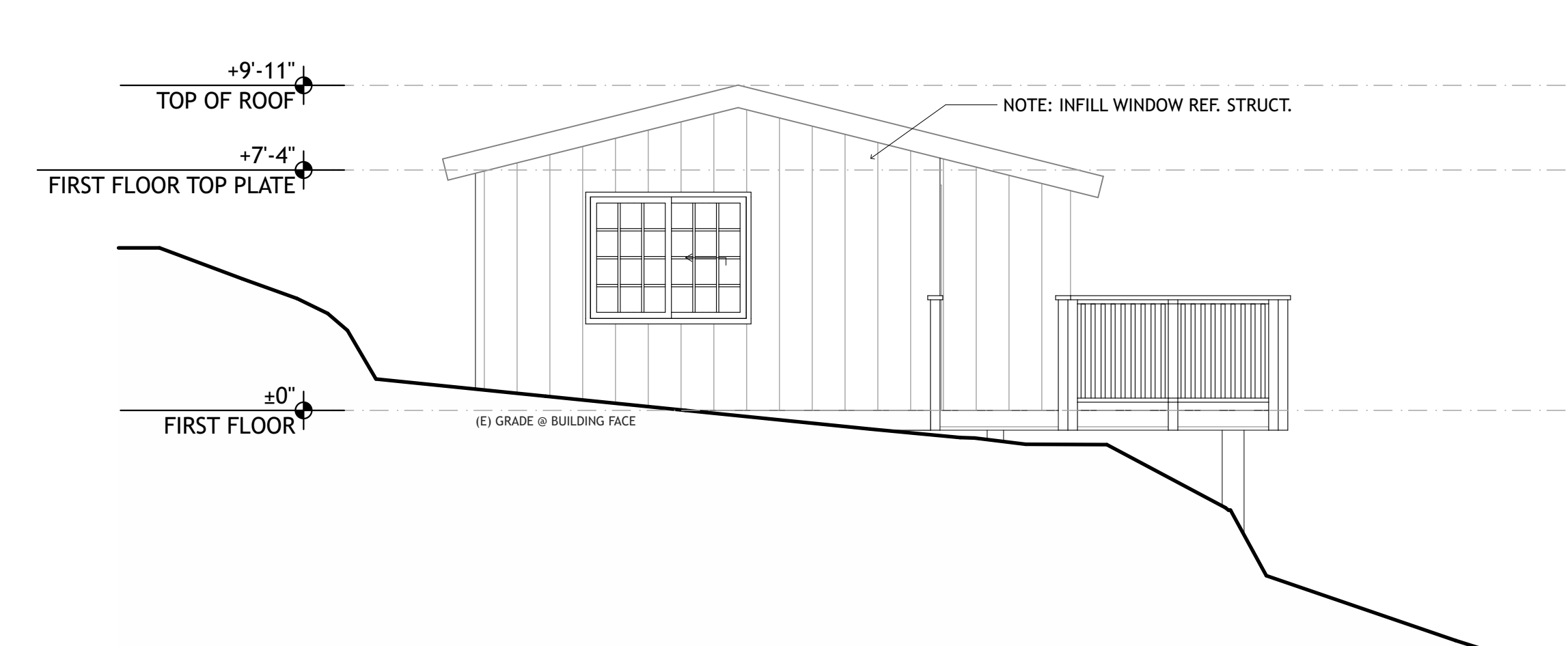
7 CABIN 7 EXISTING-DEMO NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 CABIN 7 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



8 CABIN 7 EXISTING-DEMO EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 CABIN 7 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

- 01 DOOR TAG - SEE SCHEDULE ON SHEET #LayD(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #LayD(ref)
- 10'-2" TO PLATE DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

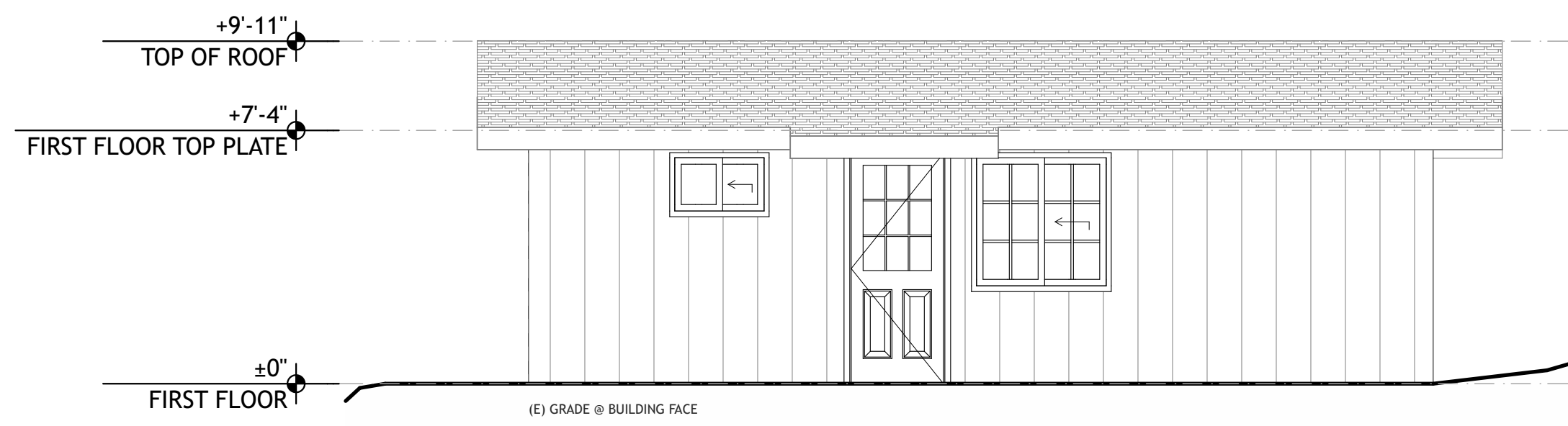
THE QUALITY OF THE BUILDING SHALL BE GUARANTEED BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ENSURING THAT THE BUILDING COMPLETION COMPLIES WITH ALL APPLICABLE REGULATIONS, LAWS AND CODE REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

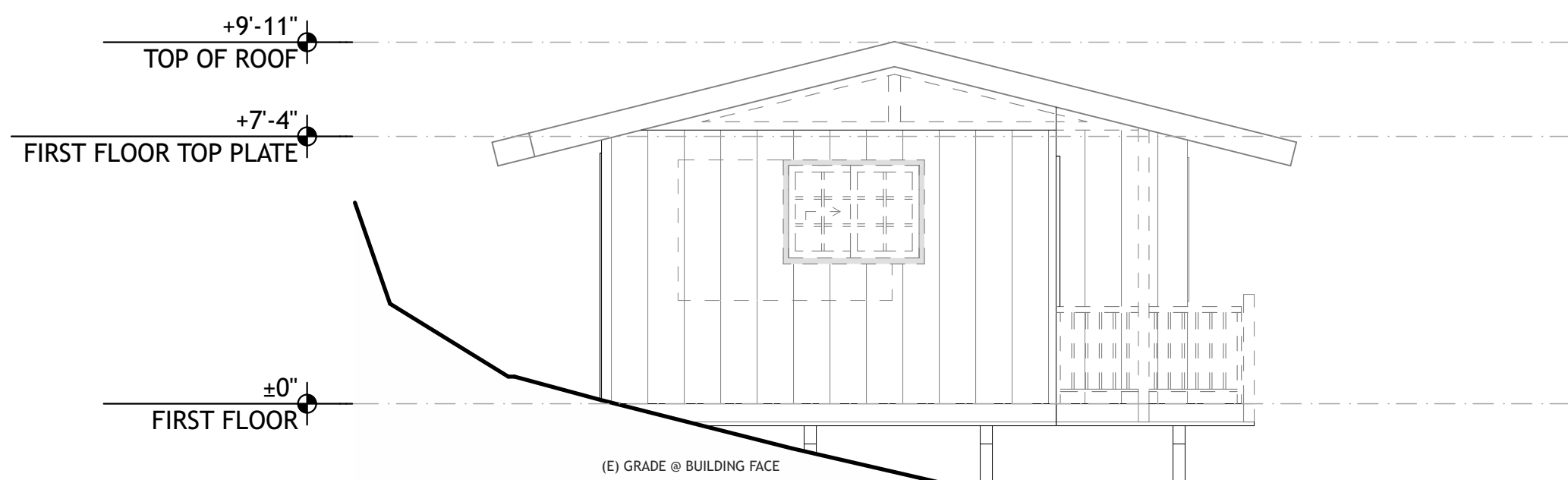
DRG SUBMITTAL
A2.4
Plotted On: 5/26/22



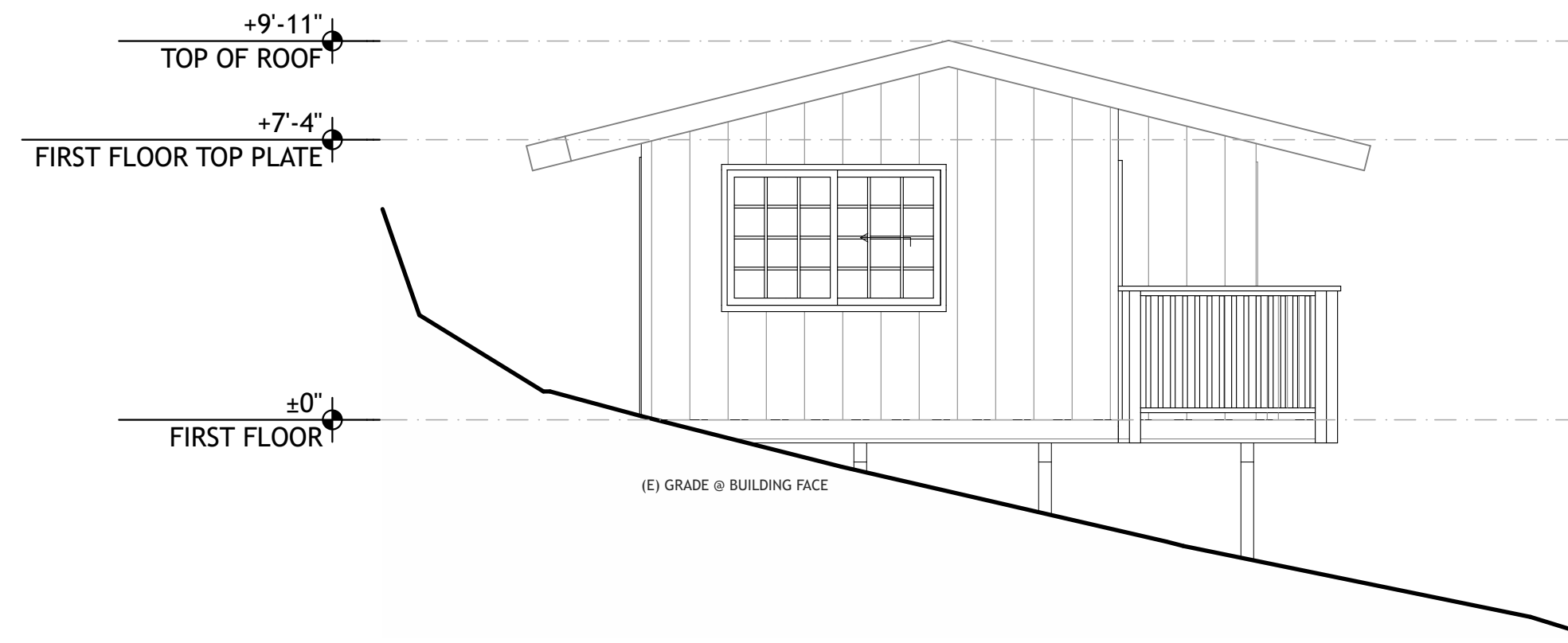
5 CABIN 8 EXISTING-DEMO SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



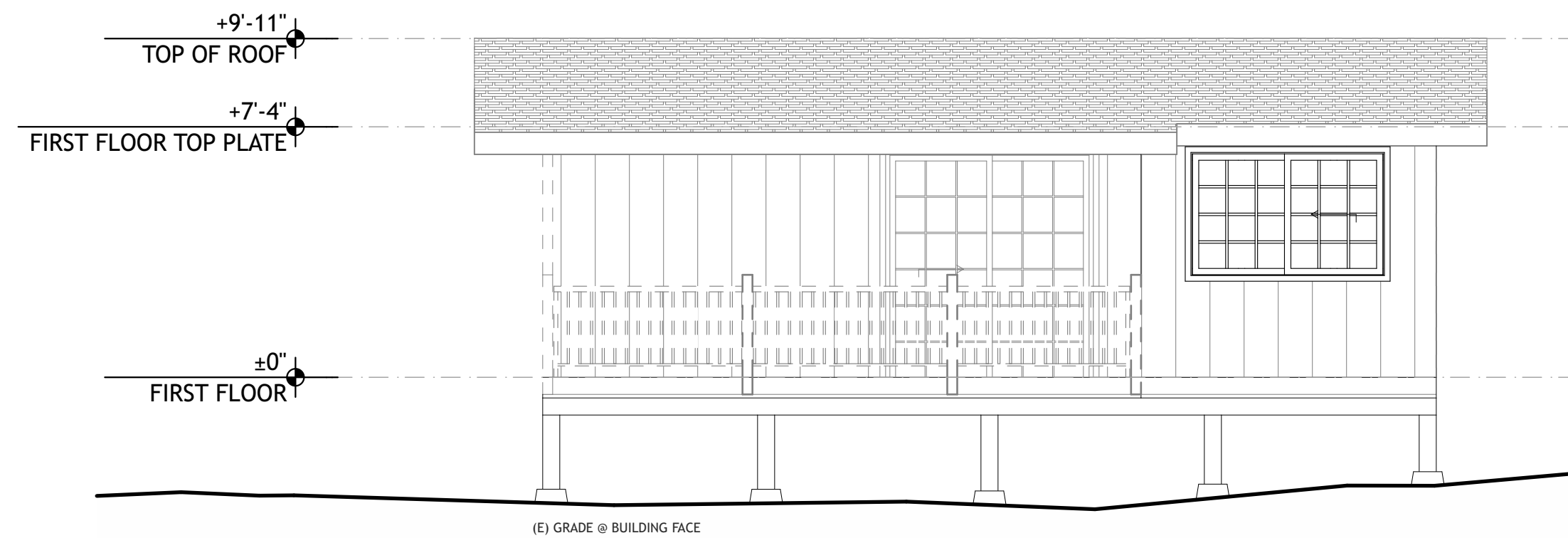
1 CABIN 8 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



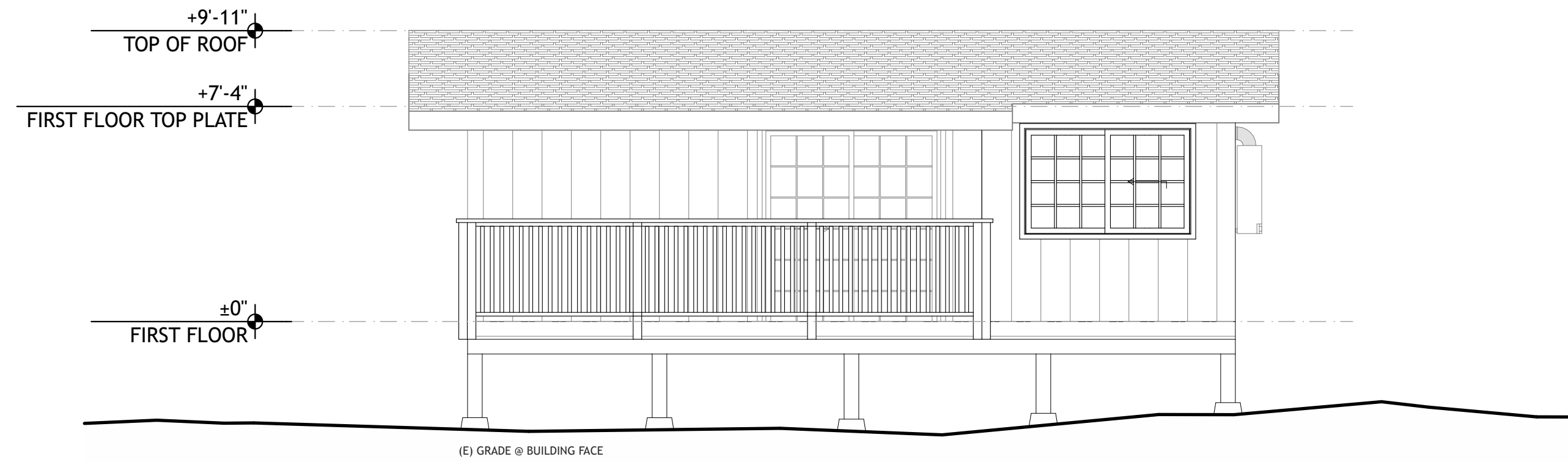
6 CABIN 8 EXISTING-DEMO EAST ELEVATION
SCALE: 1/4" = 1'-0"



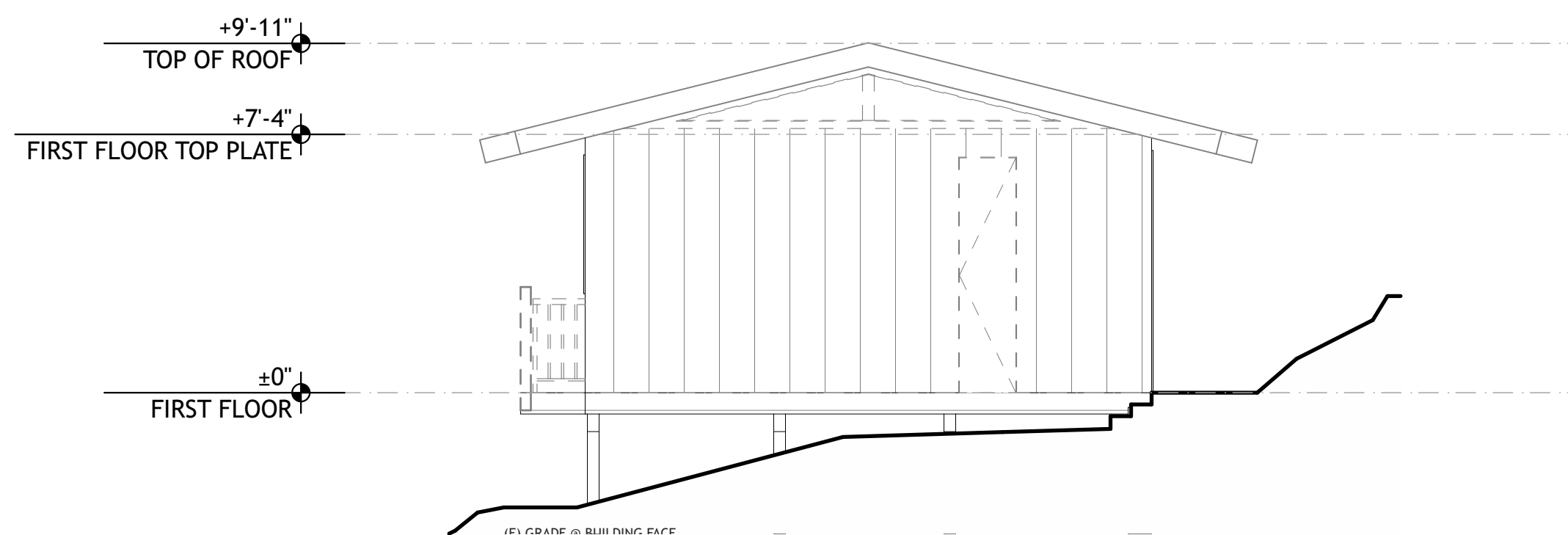
2 CABIN 8 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



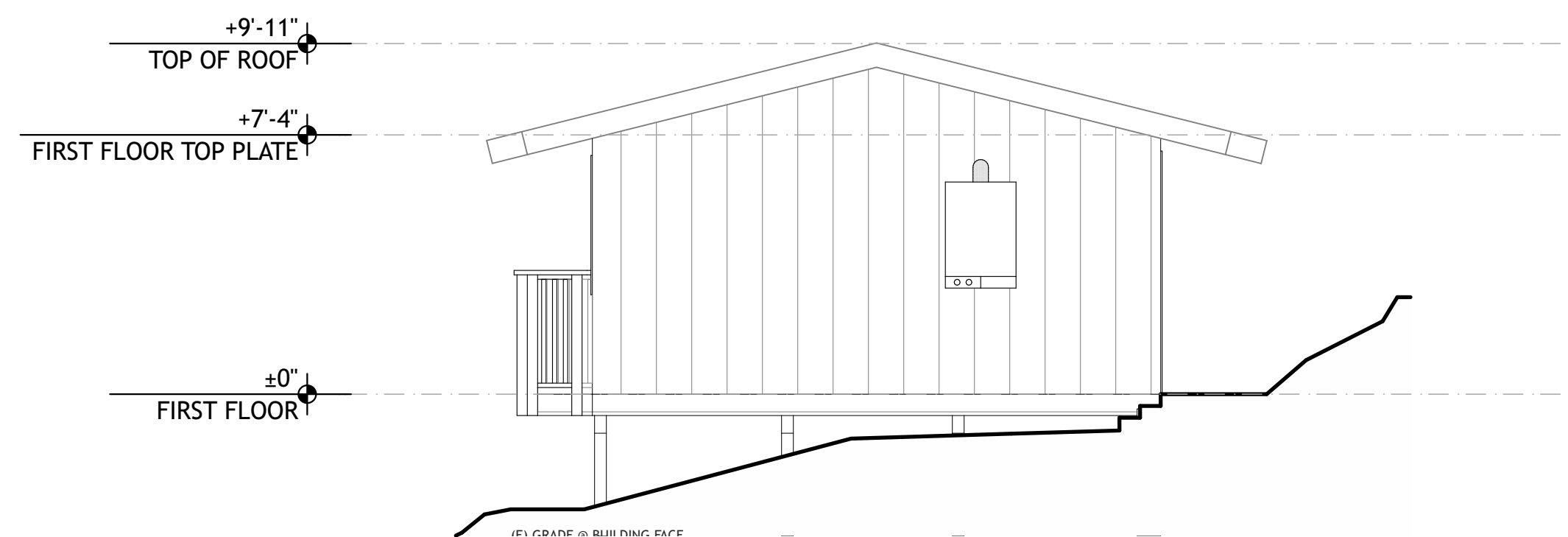
7 CABIN 8 EXISTING-DEMO NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 CABIN 8 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



8 CABIN 8 EXISTING-DEMO WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 CABIN 8 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

- 01 DOOR TAG - SEE SCHEDULE ON SHEET #layD(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #layD(ref)
- 102.2 DATUM AND HEIGHT OF STRUCTURE
- 102.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

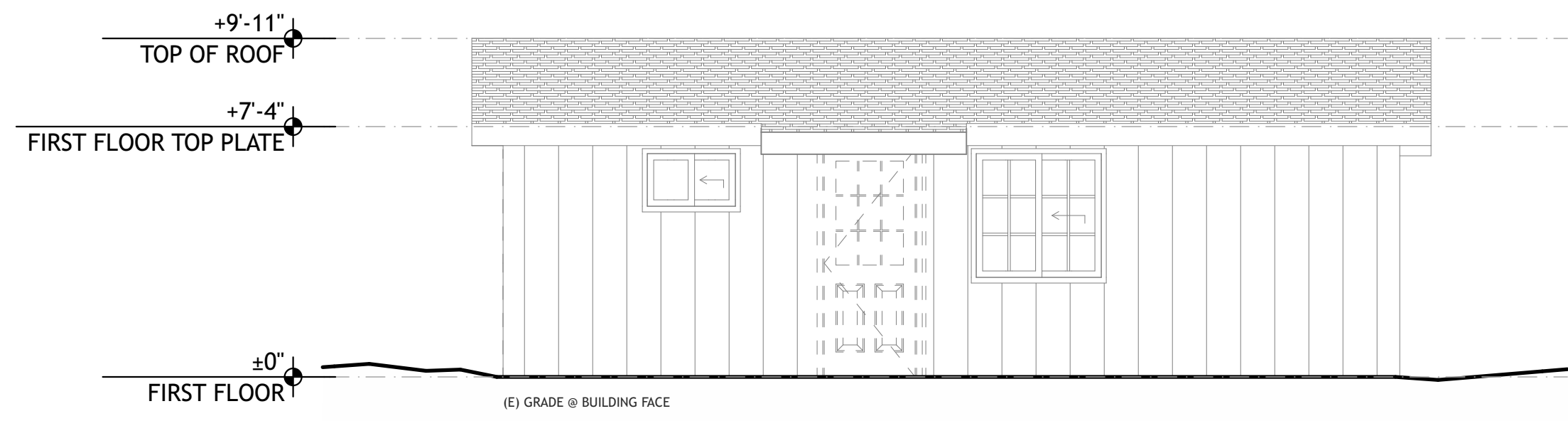
THE QUALITY OF A BUILDING FROM SHALL NOT BE CONSIDERED AS A GUARANTEE THAT ALL DEFECTS ARE REVEALED IN THIS DOCUMENT. THE GENERAL CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR ENSURING THE BUILDING COMPLES WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

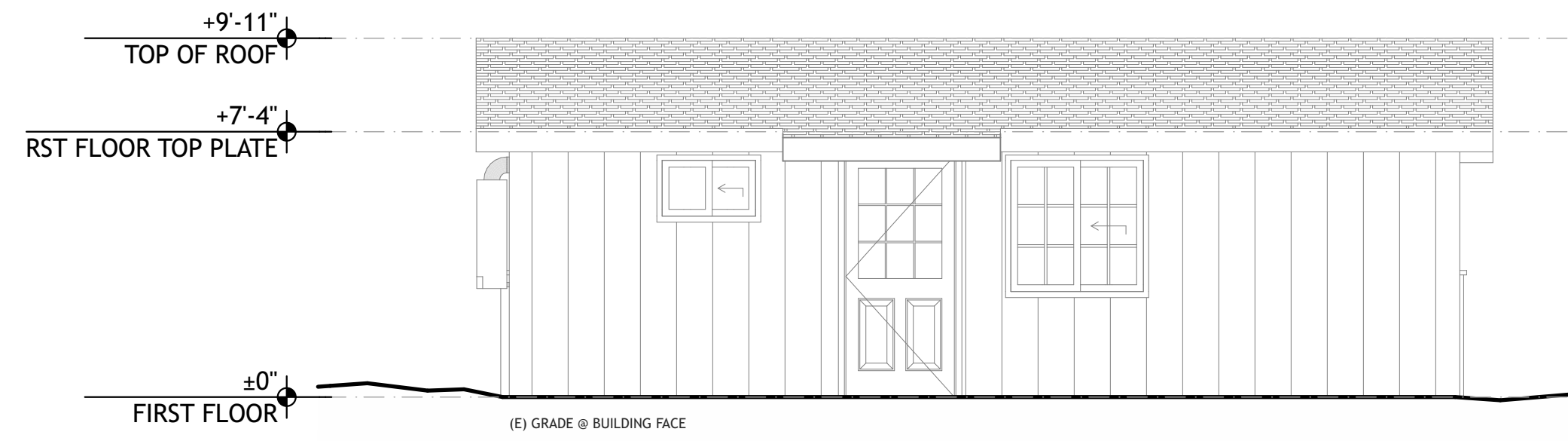
BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

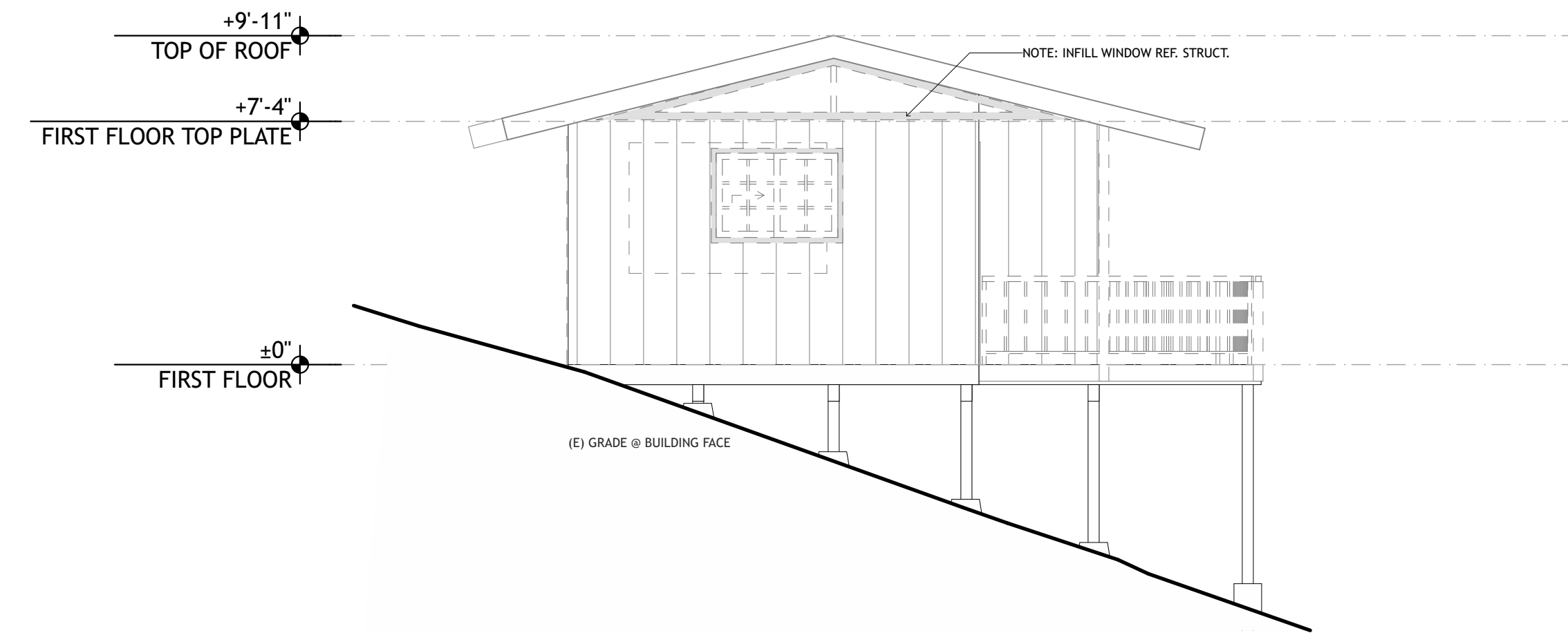
DRG SUBMITTAL
A2.5
Plotted On: 5/26/22



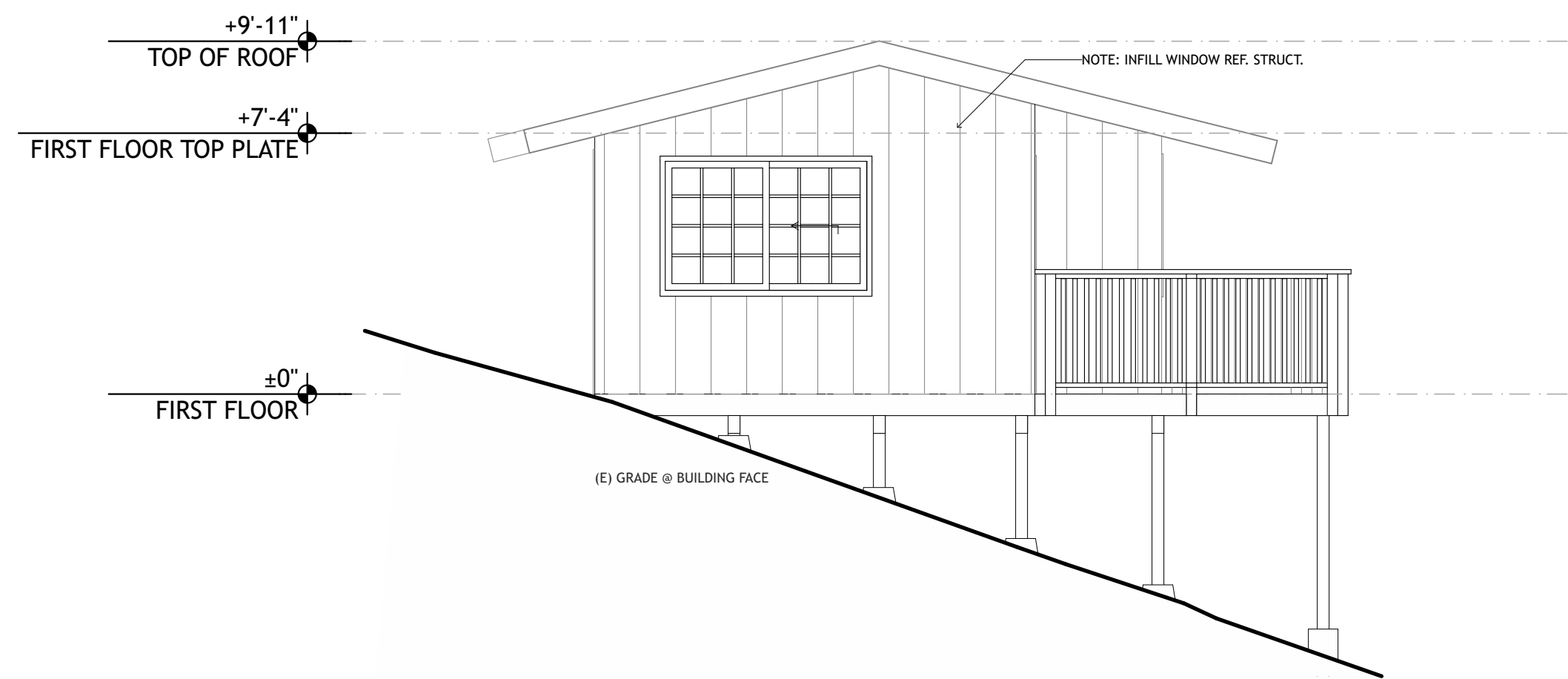
5 CABIN 9 EXISTING-DEMO SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



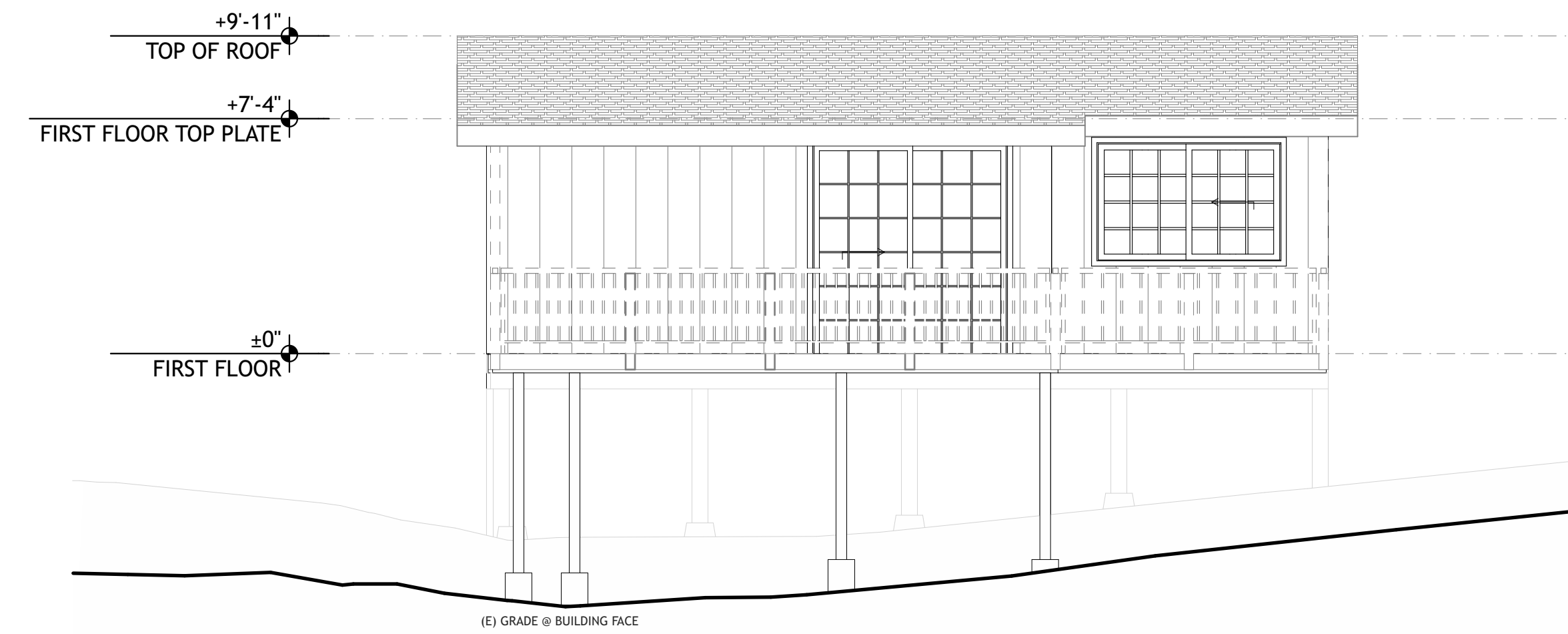
1 CABIN 9 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



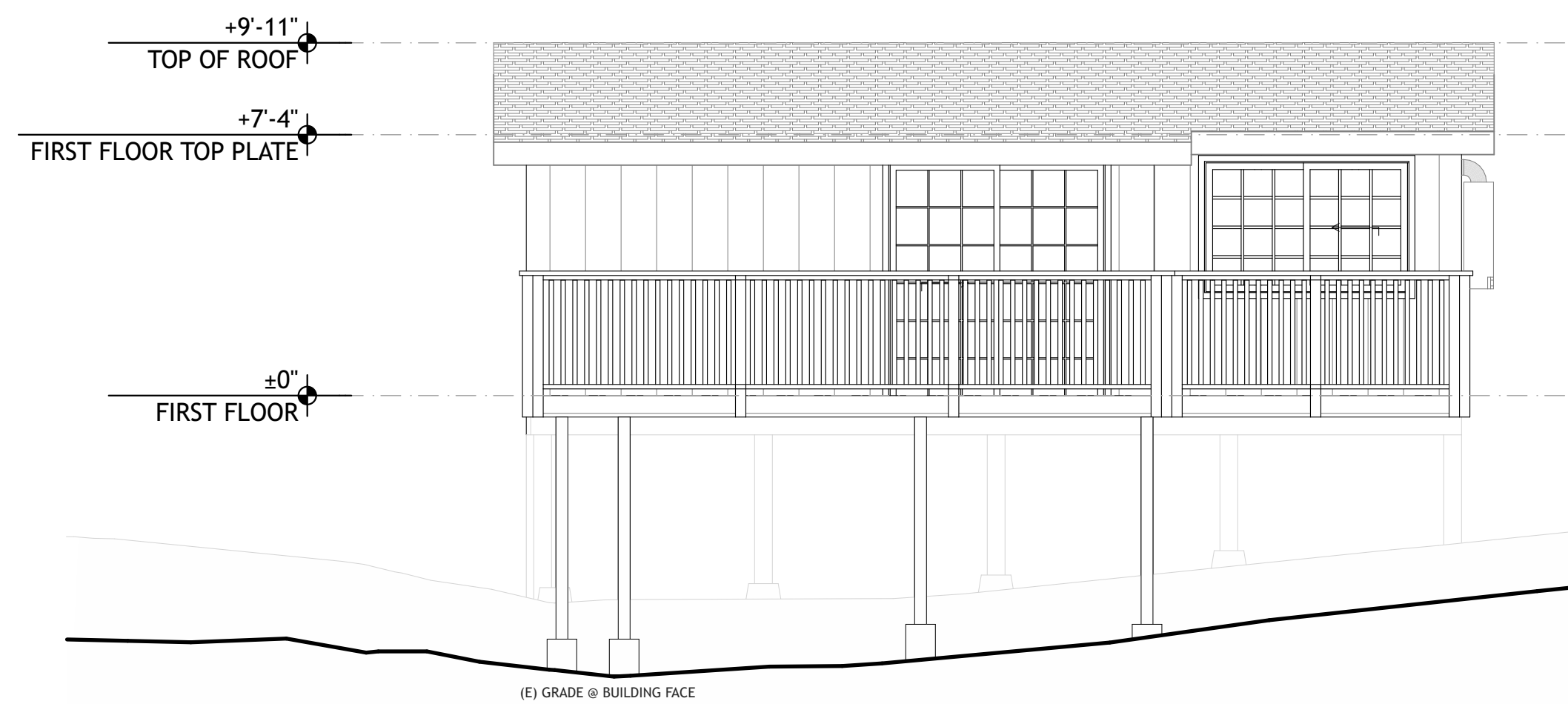
6 CABIN 9 EXISTING-DEMO EAST ELEVATION
SCALE: 1/4" = 1'-0"



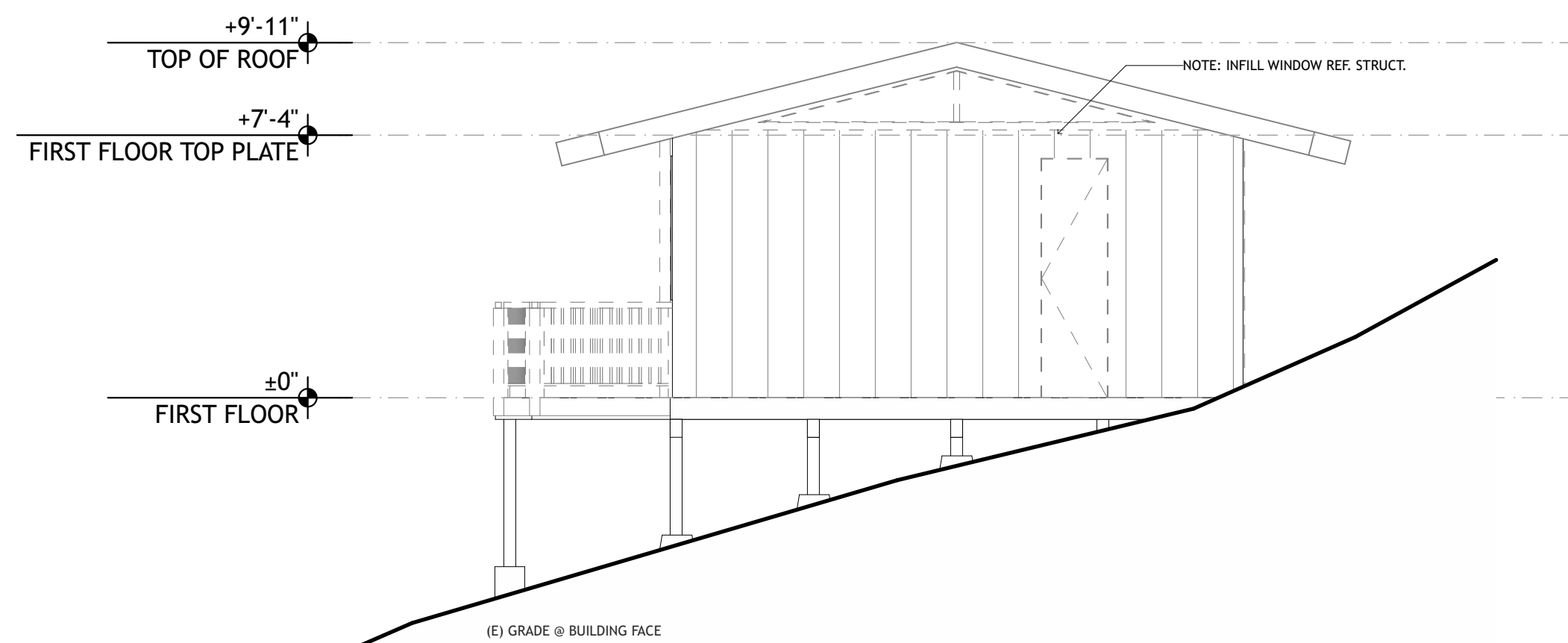
2 CABIN 9 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



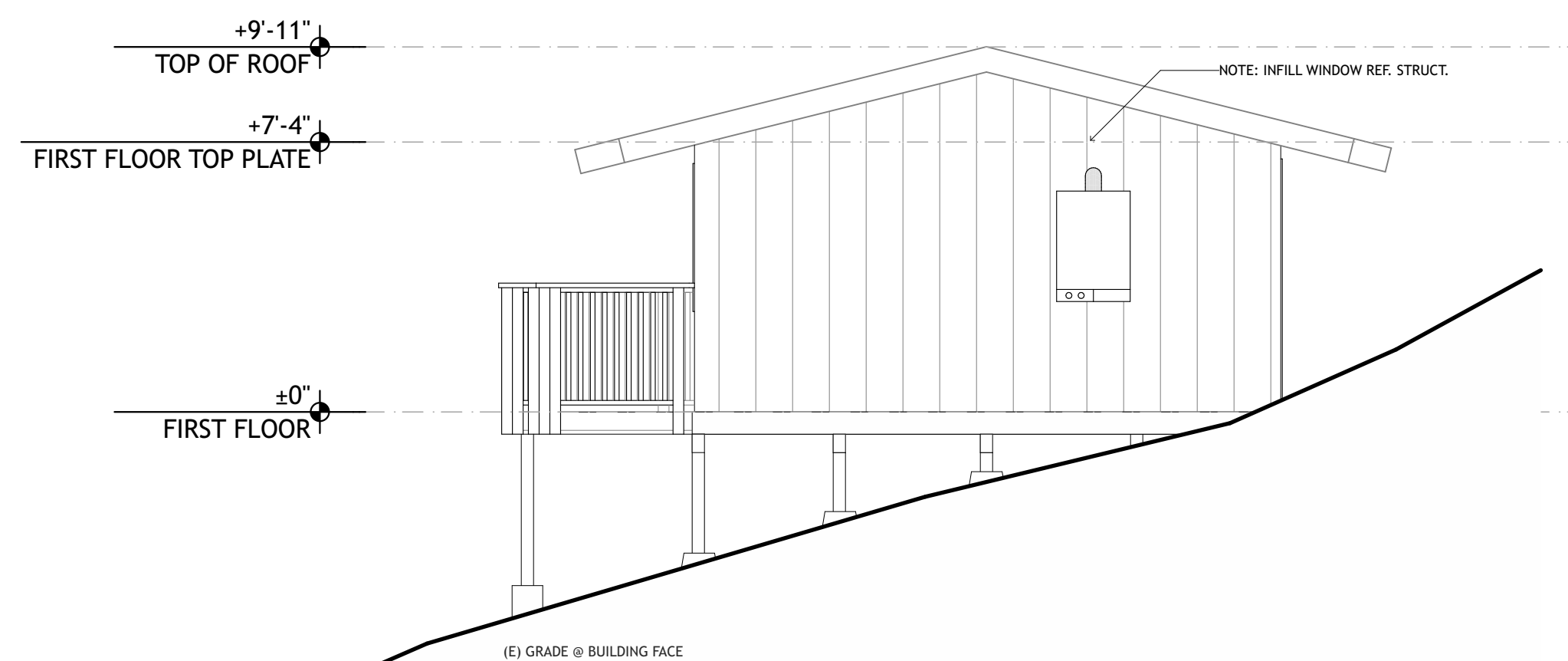
7 CABIN 9 EXISTING-DEMO NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 CABIN 9 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



8 CABIN 9 EXISTING-DEMO WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 CABIN 9 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

- 01 DOOR TAG - SEE SCHEDULE ON SHEET #layD(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #layD(ref)
- ±0'-0" DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

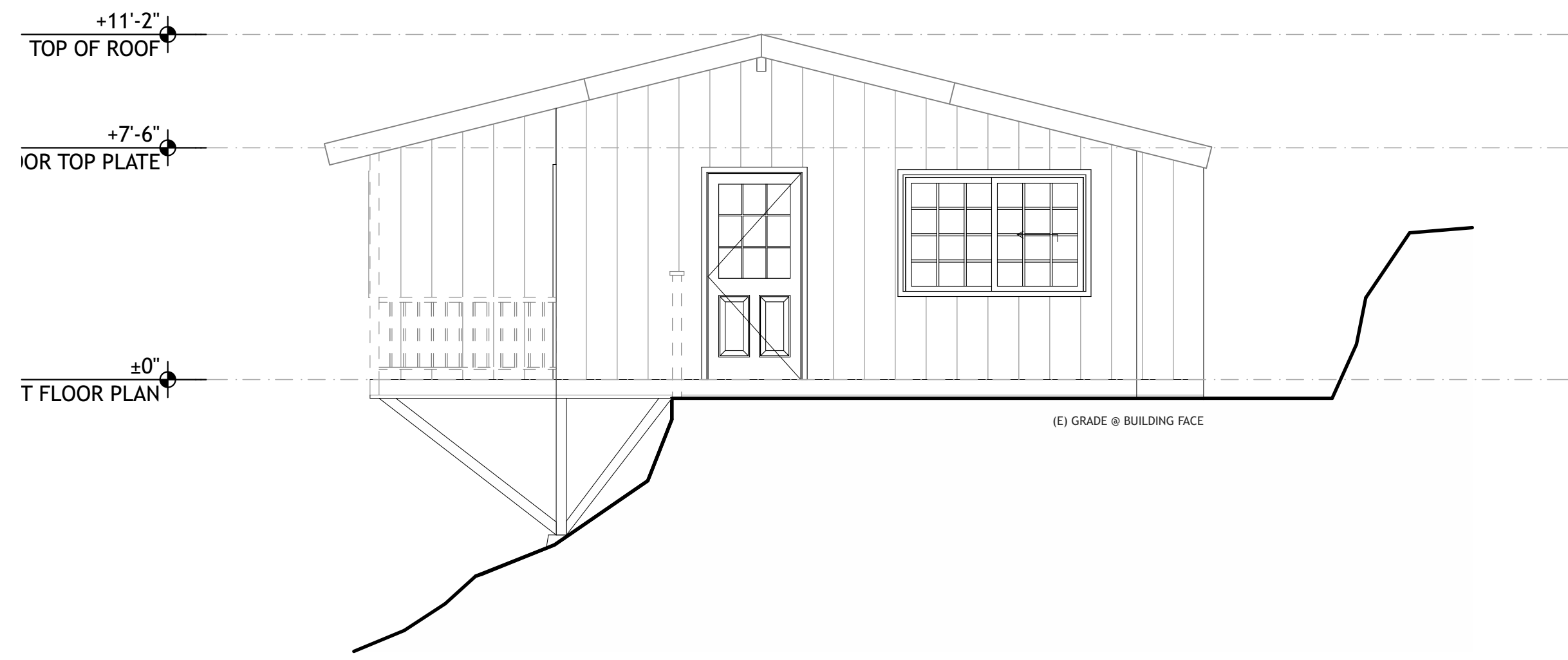
THE QUALITY OF A BUILDING FROM SHALL NOT BE CONSIDERED AS A GUARANTEE THAT ALL DEFECTS ARE REVEALED IN THIS DOCUMENT. THE GENERAL CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR ENSURING THAT ALL WORK COMPLES WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.

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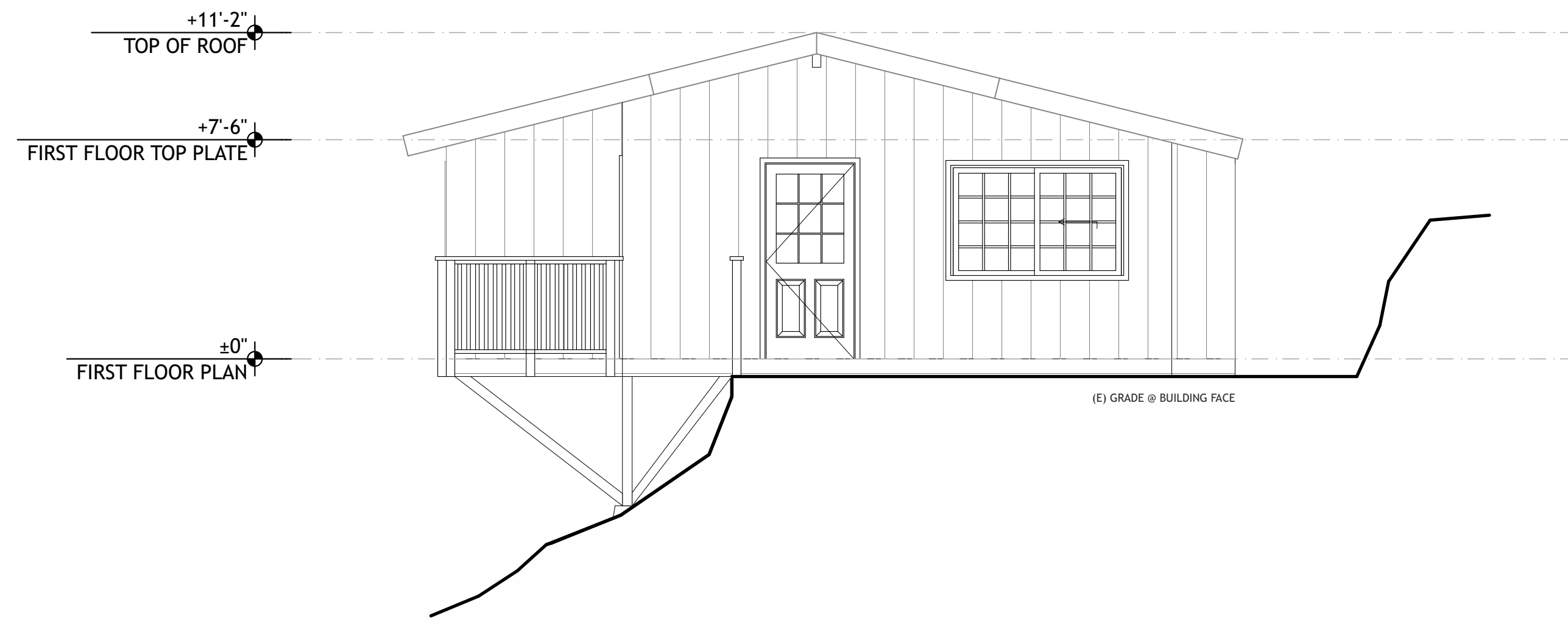
BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

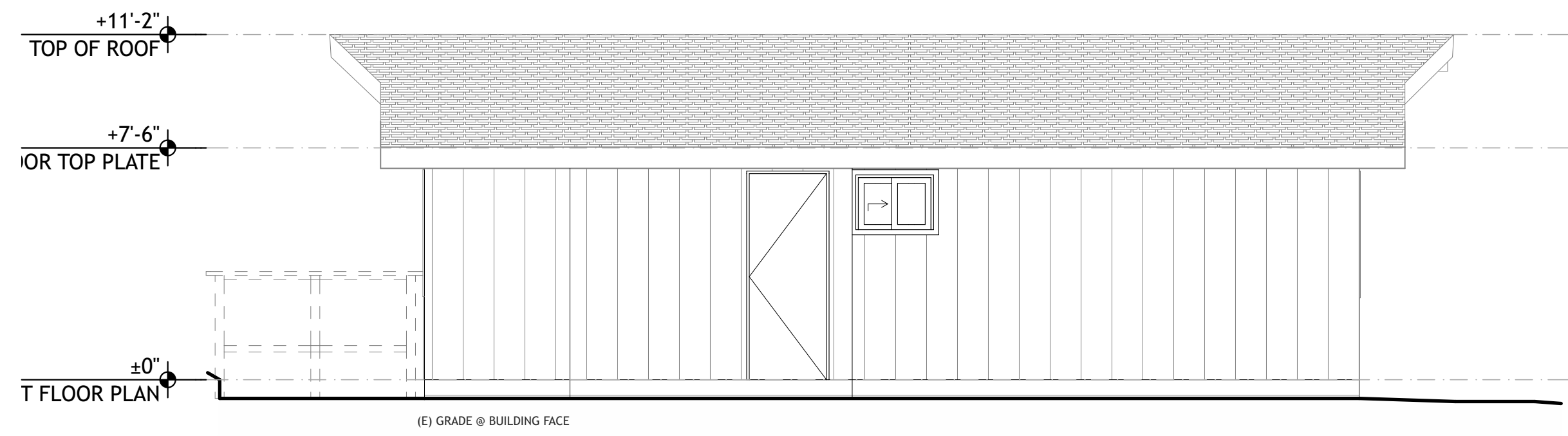
DRG SUBMITTAL
A2.6
Plotted On: 5/26/22



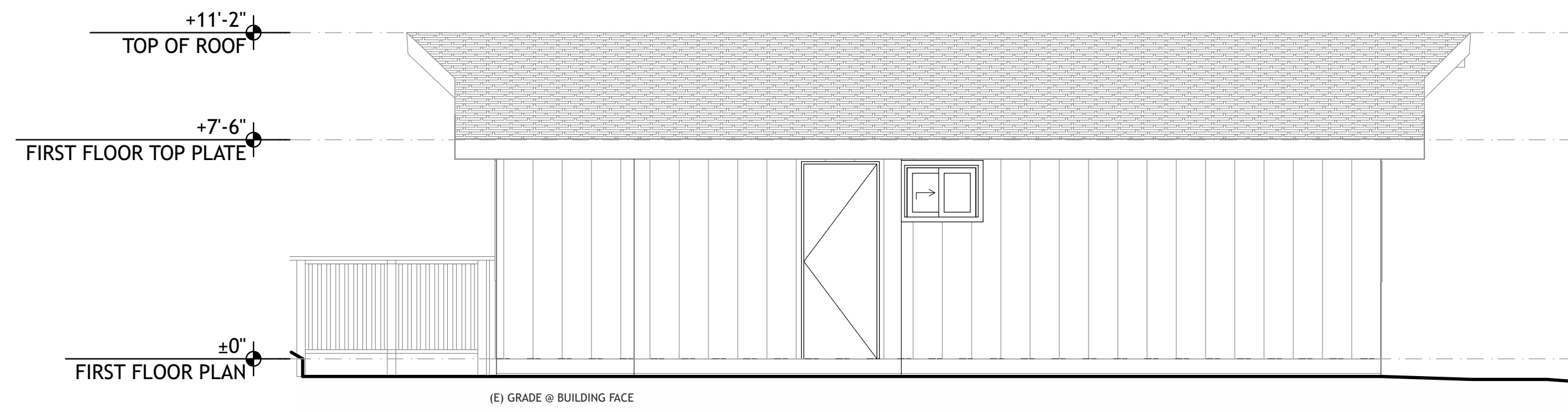
5 CABIN 10 EXISTING-DEMO EAST ELEVATION
SCALE: 1/4" = 1'-0"



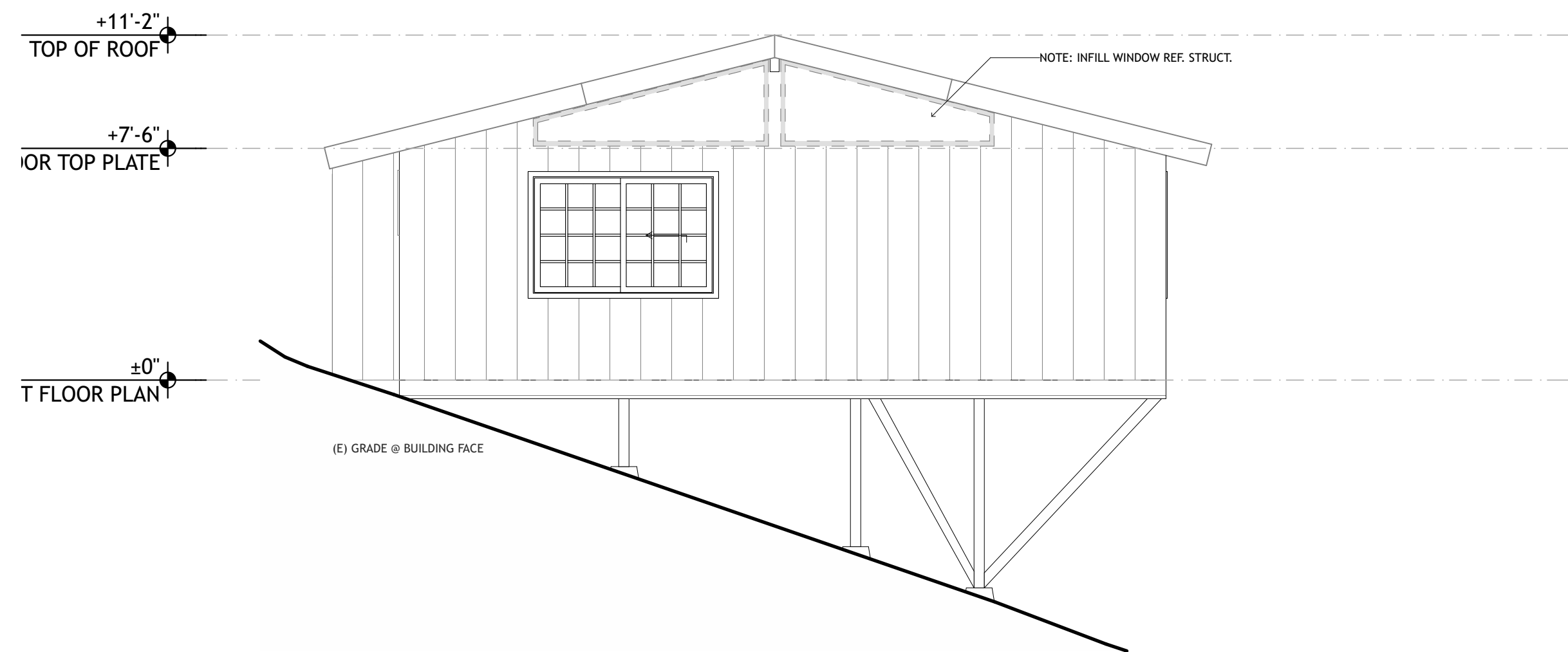
1 CABIN 10 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



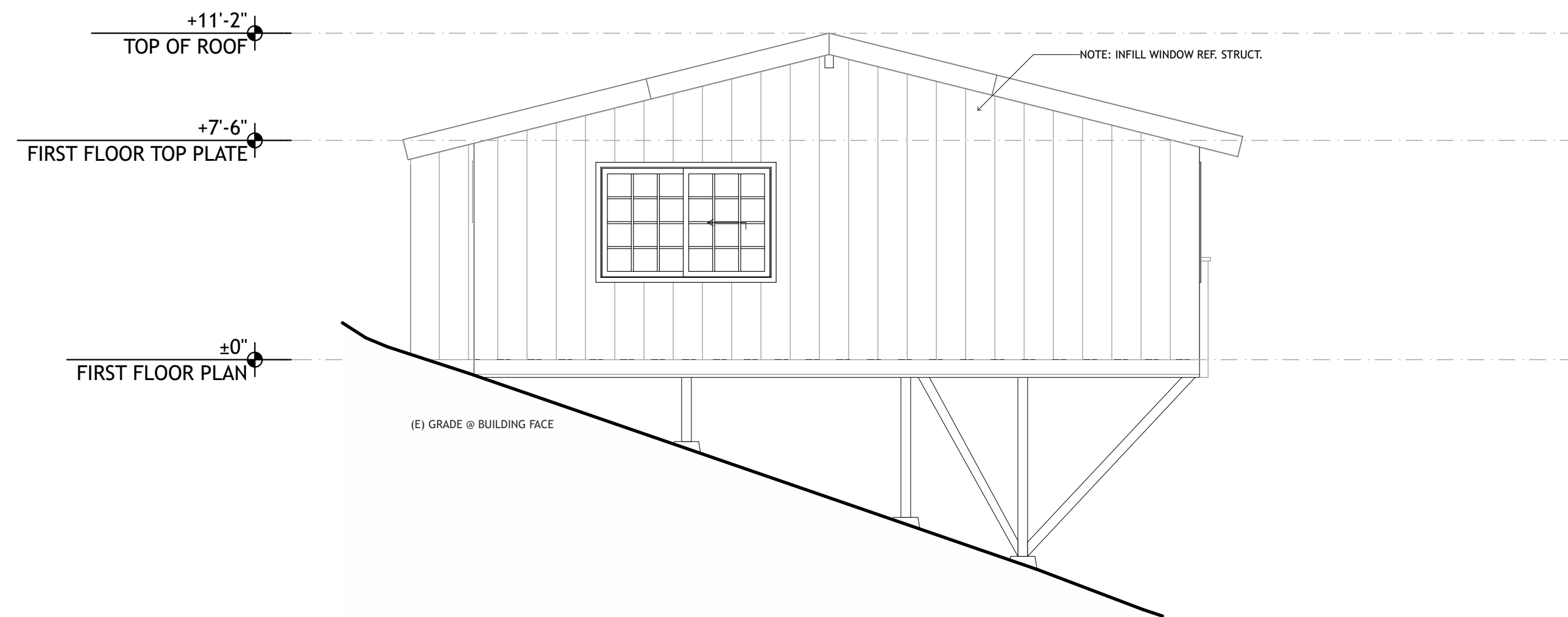
6 CABIN 10 EXISTING-DEMO NORTH ELEVATION
SCALE: 1/4" = 1'-0"



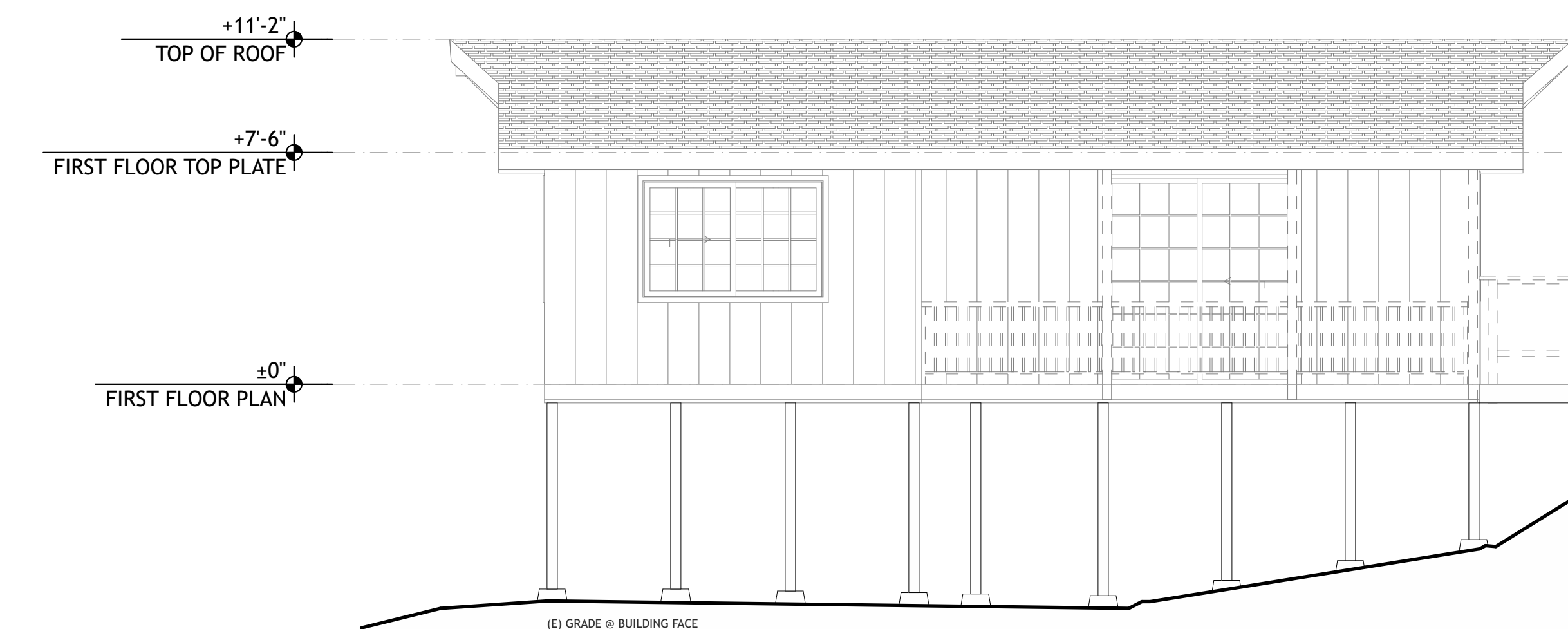
2 CABIN 10 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



7 CABIN 10 EXISTING-DEMO WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 CABIN 10 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



8 CABIN 10 EXISTING-DEMO SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 CABIN 10 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

- 01 DOOR TAG - SEE SCHEDULE ON SHEET #LayD(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #LayD(ref)
- ±0'-0" DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

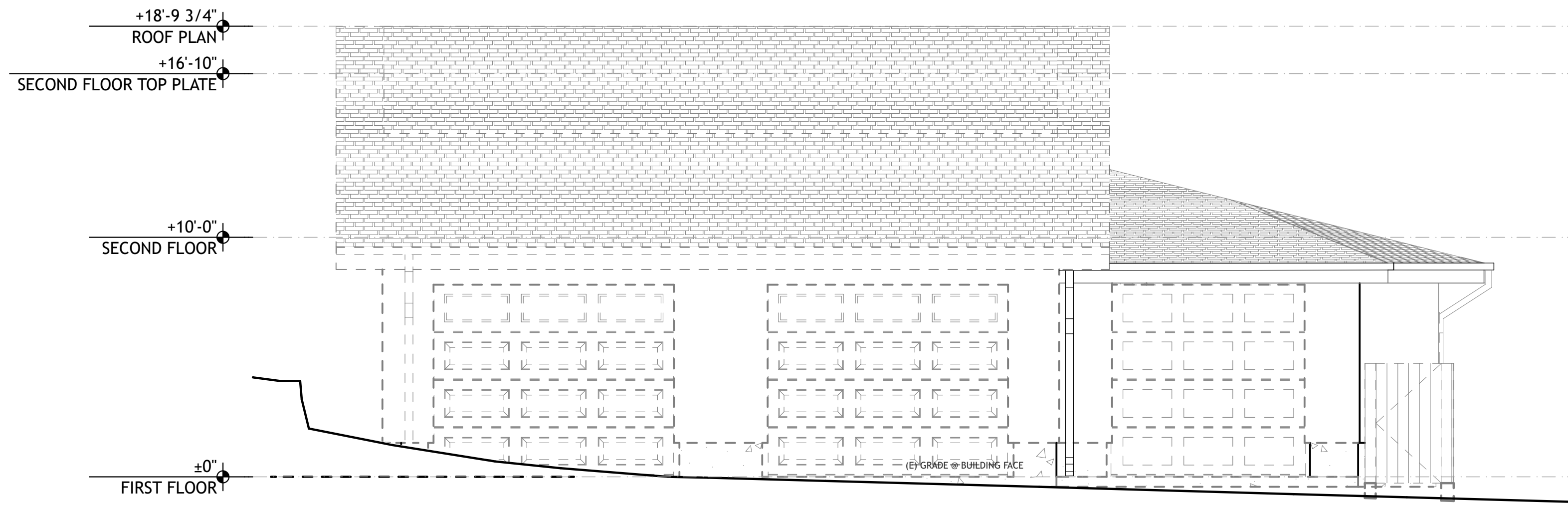
THE QUALITY OF A BUILDING
FORM SHALL NOT BE
CONSIDERED AS A GUARANTEE
OR WARRANTY OF ANY KIND
AND THE ARCHITECT SHALL NOT
BE RESPONSIBLE FOR ANY
CONSTRUCTION DEFECTS OR
OTHER DEFICIENCIES THAT
MAY BE THE RESULT OF
CONSTRUCTION PRACTICES
THAT DEVIATE FROM THE
CONTRACT DOCUMENTS.
THE ARCHITECT SHALL BE
RESPONSIBLE FOR ENSURING
THAT THE CONSTRUCTION
COMPLETES WITH ALL
REGULATORY, LAWS AND CODE
REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

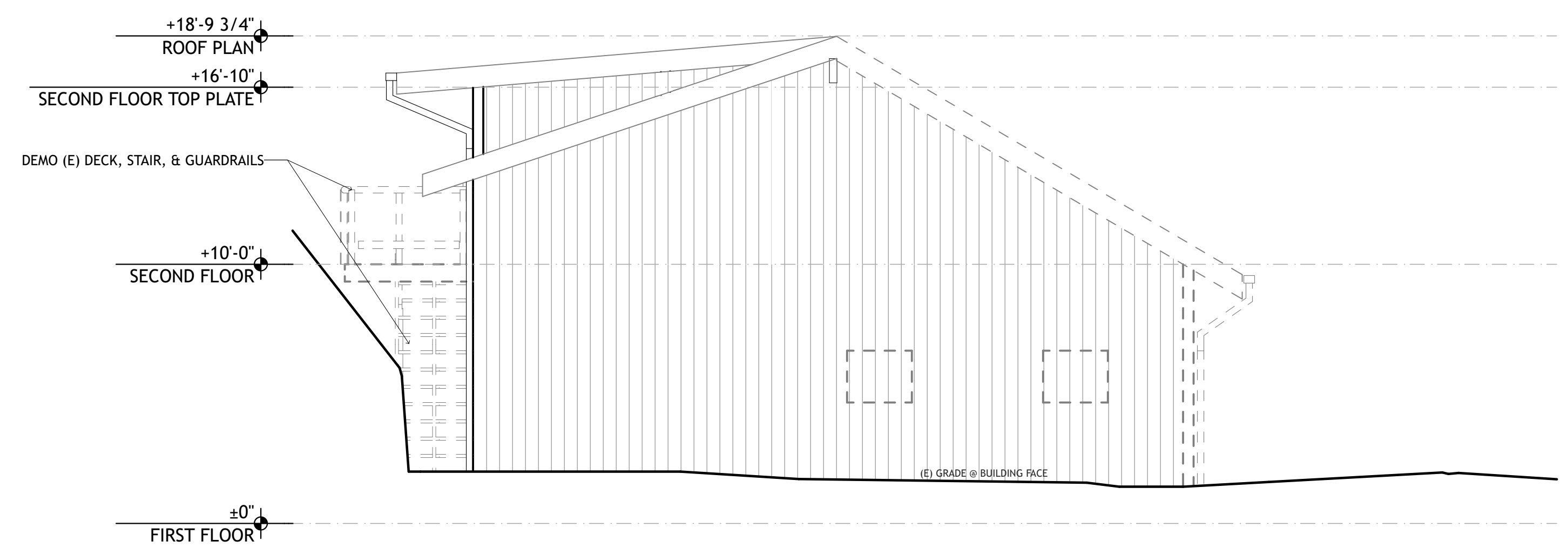
BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A2.7
Plotted On: 5/26/22



1 GARAGE EXISTING-DEMO SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 GARAGE EXISTING-DEMO WEST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

- 01 DOOR TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- ±0'-0" DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

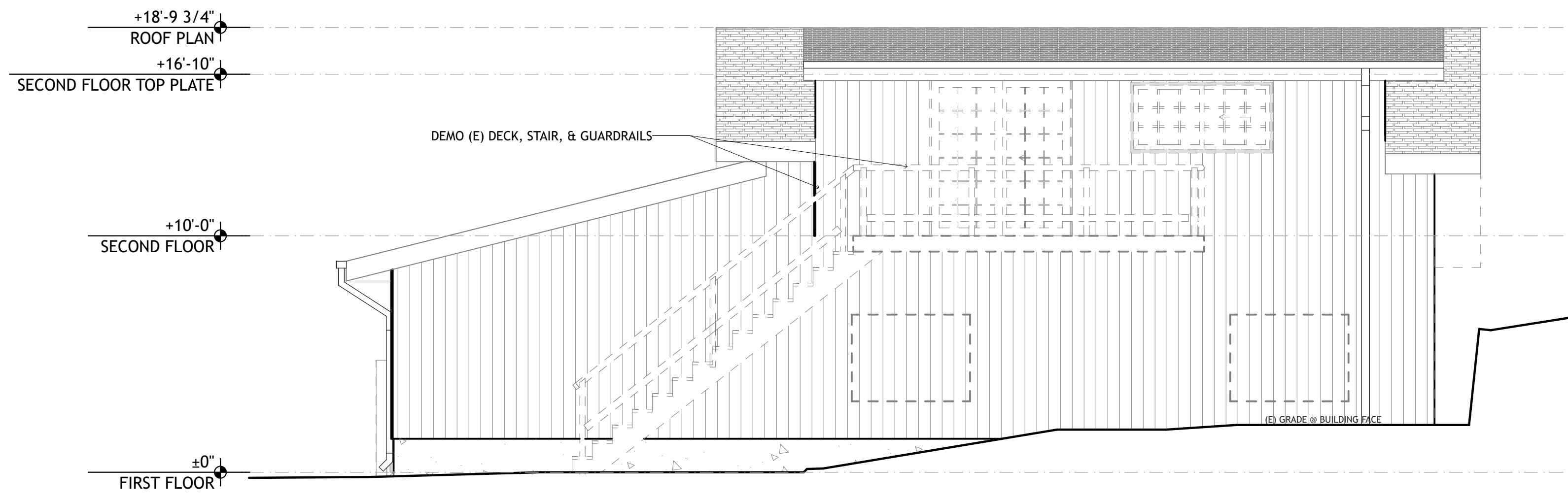
THE QUALITY OF A BUILDING
CONSTRUCTED AS A GUARANTEE
FORM SHALL NOT BE
THE RESPONSIBILITY OF THE
ARCHITECT. THE ARCHITECT
IS RESPONSIBLE FOR ENSURING
THAT THE BUILDING COMPLETION
COMPLIES WITH ALL
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

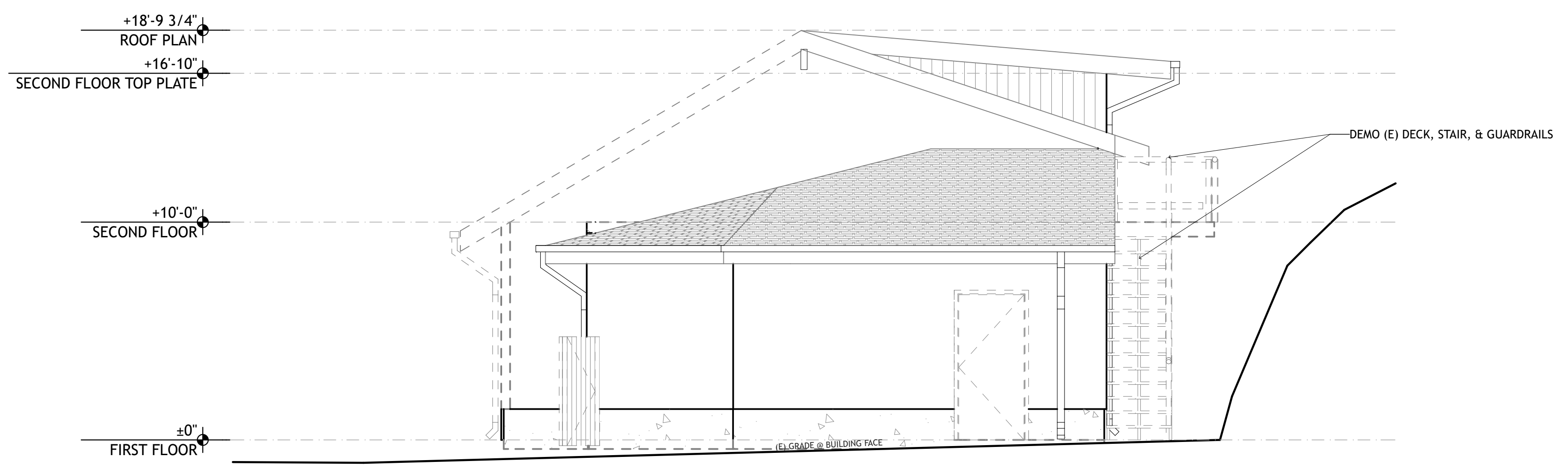
BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A2.8
Plotted On: 5/26/22



1 GARAGE EXISTING-DEMO NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 GARAGE EXISTING-DEMO EAST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

- 01 DOOR TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- +10'-0" T.O. PLATE DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
8705 HWY 9, BEN LOMOND,
ADDRESS: CA 95005
APN: 078-273-15

THE QUALITY OF A BUILDING
CONSTRUCTED AS A GUARANTEE
FORM SHALL NOT BE
THE RESPONSIBILITY OF THE
ARCHITECT. THE ARCHITECT
IS RESPONSIBLE FOR ENSURING
THAT ALL WORK IS COMPLETED
IN ACCORDANCE WITH ALL
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
MEASURE ONE INCH (1") EXACTLY,
THIS DRAWING WILL HAVE BEEN
ENLARGED OR REDUCED,
AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A2.9
Plotted On: 5/26/22

GARAGE EXISTING-DEMO ELEVATIONS

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF A BUILDING
 CONSTRUCTED AS A GUARANTEE
 THAT ALL WORKMANSHIP
 THAT IS REFERRED TO IN THE
 DOCUMENT, THE GENERAL
 CONTRACTOR SHALL BE ULTIMATELY
 RESPONSIBLE FOR ENSURING
 THAT THE PROJECT COMPLETION
 REGULATIONS, LAWS AND CODE
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IF THE ABOVE DIMENSION DOES NOT
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BY	REVISIONS	Date
01		

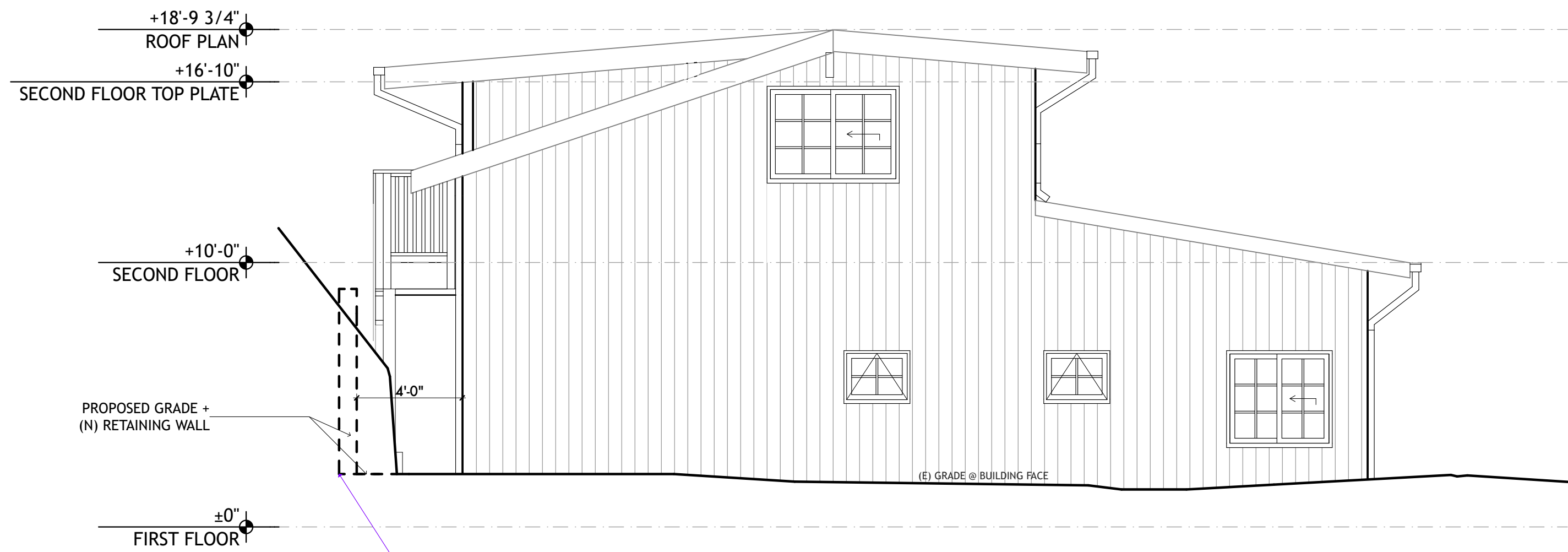
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Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A2.10
 Plotted On: 5/26/22

GARAGE PROPOSED ELEVATIONS



1 GARAGE PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 GARAGE PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF A BUILDING
 CONSTRUCTED AS A GUARANTEE
 THAT ALL ELEMENTS
 ARE RELECTED IN THE
 DOCUMENT. THE GENERAL
 CONTRACTOR SHALL BE ULTIMATELY
 RESPONSIBLE FOR ENSURING
 THE PROJECT COMPLETION WITH ALL
 REGULATIONS, LAWS AND CODE
 REQUIREMENTS.

IF THE ABOVE DIMENSION DOES NOT
 MEASURE ONE INCH (1") EXACTLY,
 THIS DRAWING WILL HAVE BEEN
 ENLARGED OR REDUCED,
 AFFECTING ALL LABELED SCALES.

BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A2.11
 Plotted On: 5/26/22

GARAGE PROPOSED ELEVATIONS



1 GARAGE PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 GARAGE PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF A BUILDING
 CONSTRUCTED AS A GUARANTEE
 FROM THE ARCHITECT SHALL BE
 THE ARCHITECT'S RESPONSIBILITY
 AND NOT THE CONTRACTOR'S.
 THE ARCHITECT SHALL BE
 RESPONSIBLE FOR ENSURING
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BY	REVISIONS	Date
01		

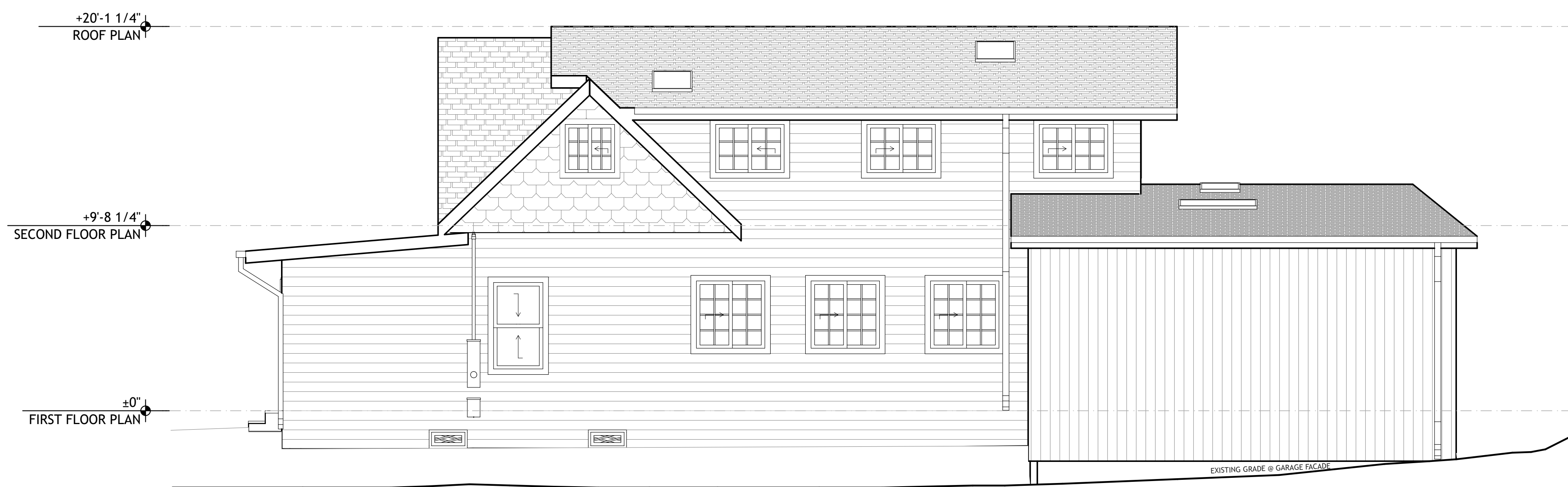
Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A2.12
 Plotted On: 5/26/22

HOUSE EXISTING-DEMO ELEVATIONS



1 EXISTING-DEMO EAST ELEVATION
 SCALE: 1/4" = 1'-0"



2 HOUSE EXISTING-DEMO NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

- 01 DOOR TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- +10'-2" T.O. PLATE DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF A BUILDING
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BY	REVISIONS	Date
01		

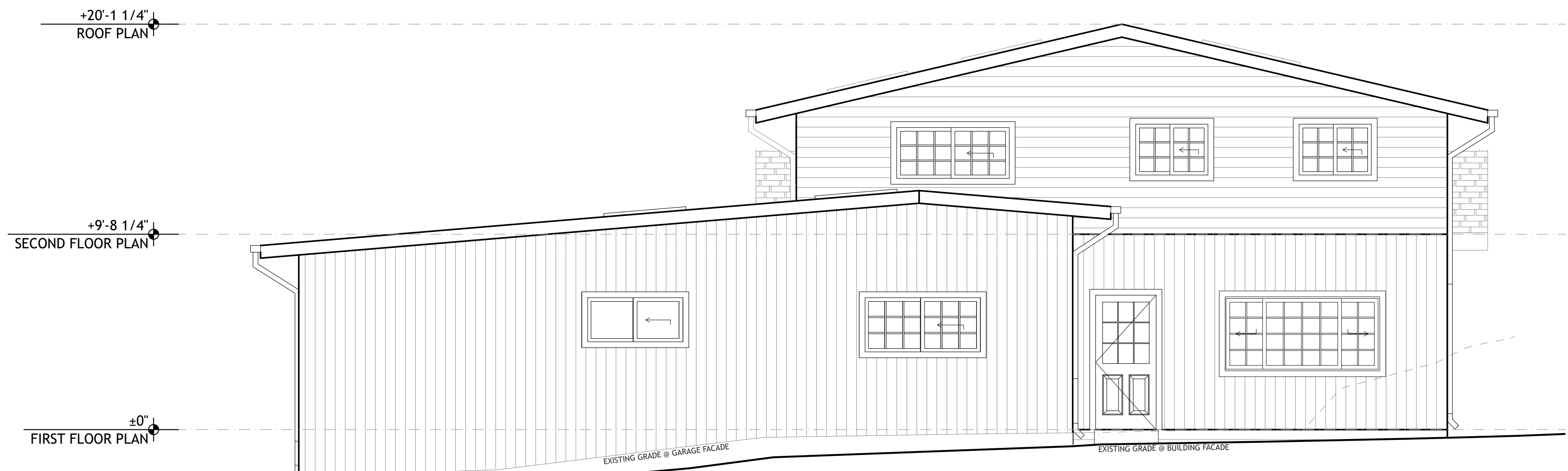
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Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A2.13
 Plotted On: 5/26/22

HOUSE EXISTING-DEMO ELEVATIONS



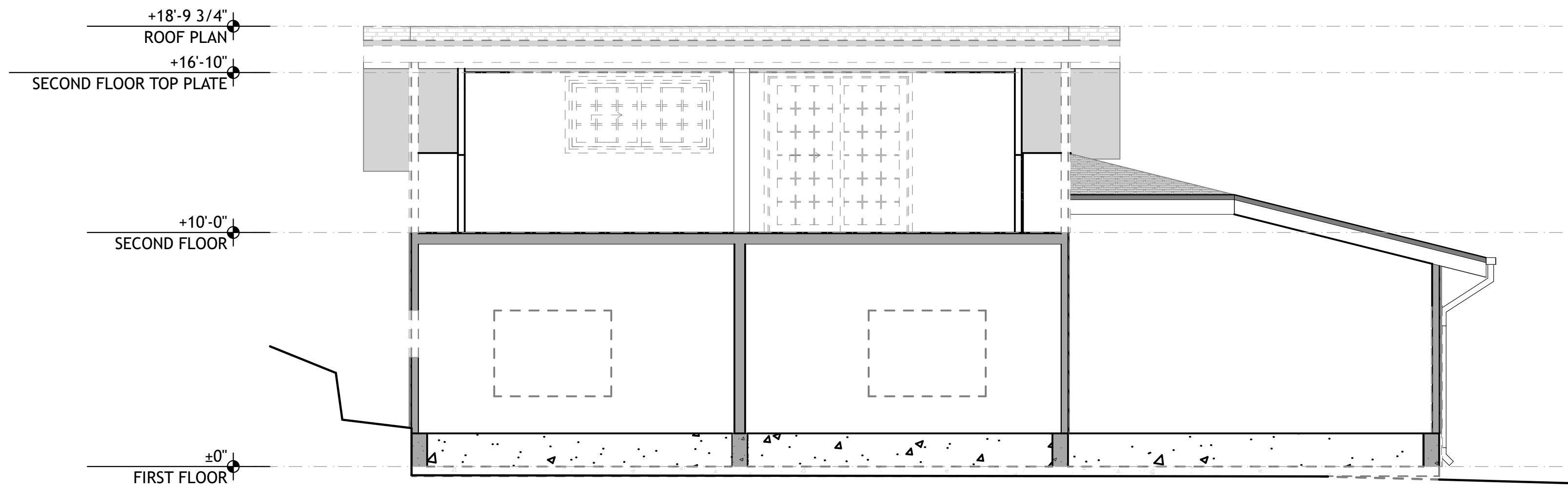
1 HOUSE EXISTING-DEMO SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



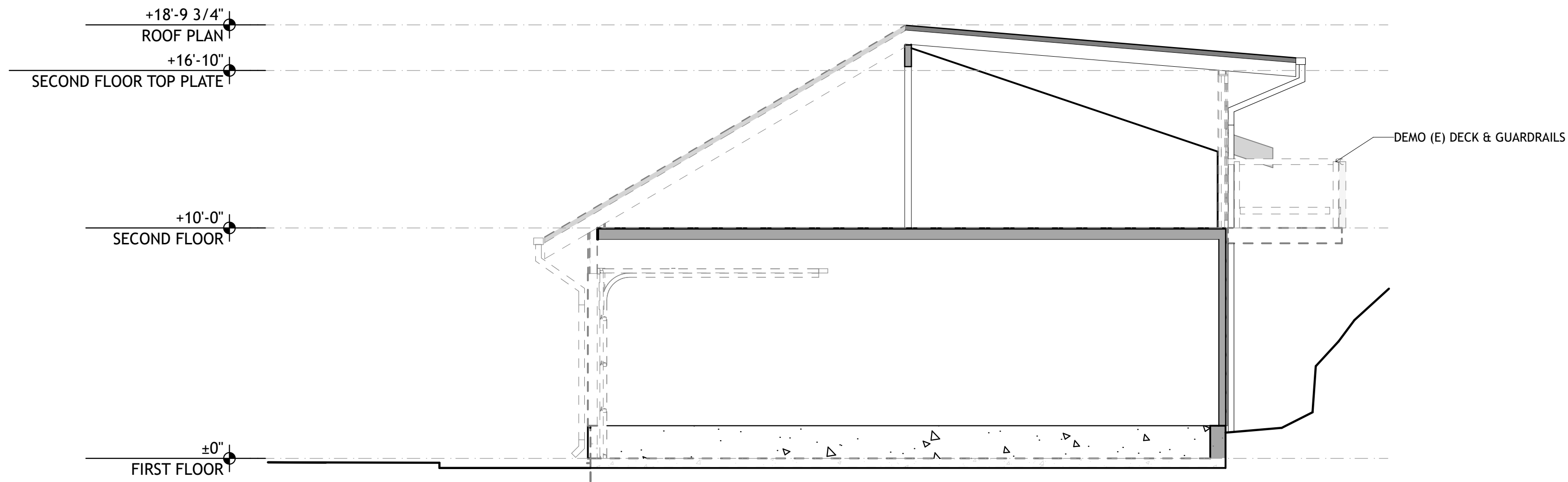
2 HOUSE EXISTING-DEMO WEST ELEVATION
 SCALE: 1/4" = 1'-0"

ELEVATION LEGEND

- 01 DOOR TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- ±0'-0" T.O. PLATE DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG



1 GARAGE EXISTING-DEMO SECTION
SCALE: 1/4" = 1'-0"



2 GARAGE EXISTING-DEMO SECTION
SCALE: 1/4" = 1'-0"

SECTION LEGEND

- 01 DOOR TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- +18'-9 3/4" T.O. PLATE DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

THE QUALITY OF A BUILDING
CONSTRUCTED AS A GUARANTEE
FORM SHALL NOT BE
THE RESPONSIBILITY OF THE
ARCHITECT. THE ARCHITECT
IS RESPONSIBLE FOR THE
DESIGN AND CONSTRUCTION
OF THE BUILDING TO COMPLY
WITH ALL APPLICABLE
REGULATIONS, LAWS AND CODE
REQUIREMENTS.

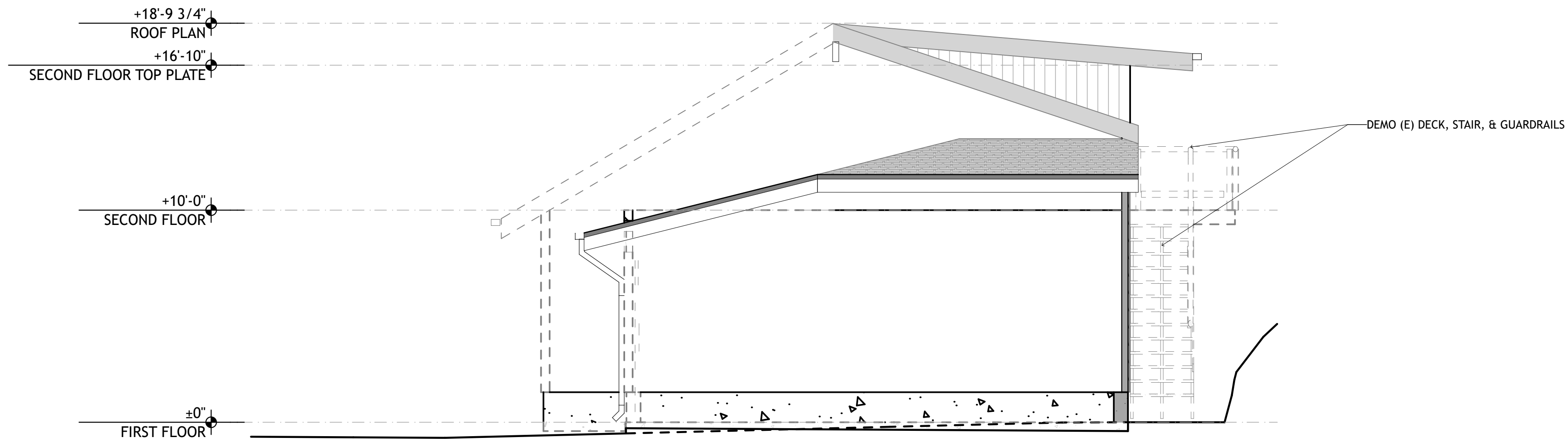
IF THE ABOVE DIMENSION DOES NOT
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BY	REVISIONS	Date
01		

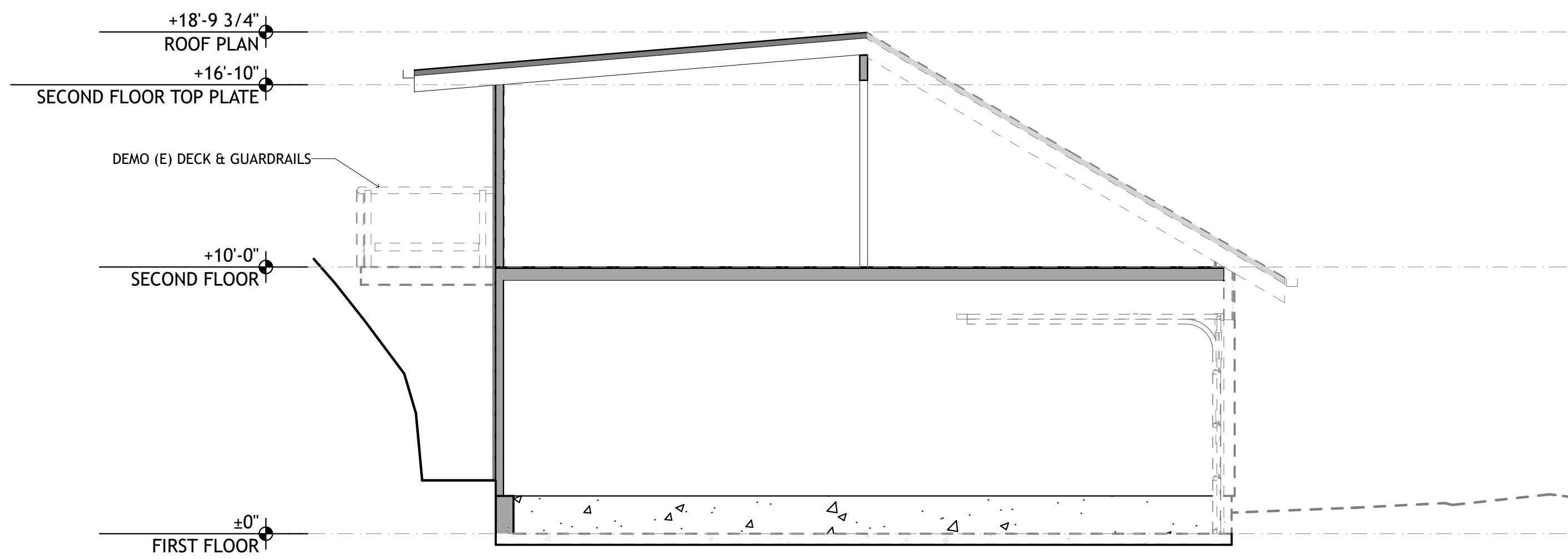
Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A3.1
Plotted On: 5/26/22

GARAGE EXISTING-DEMO SECTIONS



4 GARAGE EXISTING-DEMO SECTION
SCALE: 1/4" = 1'-0"



4 GARAGE EXISTING-DEMO SECTION
SCALE: 1/4" = 1'-0"

SECTION LEGEND

- 01 DOOR TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- +18'-2" T.O. PLATE DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG

PRELIMINARY
NOT FOR
CONSTRUCTION

JOB NAME: VETERANS VILLAGE
CLIENT: CHRIS COTTINGHAM
ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
APN: 078-273-15

THE QUALITY OF A BUILDING
CONSTRUCTED AS A GUARANTEE
THAT ALL MATERIALS AND
METHODS OF CONSTRUCTION
ARE RECORDED IN THE
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REGULATIONS, LAWS AND CODE
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BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A3.2
Plotted On: 5/26/22

GARAGE EXISTING-DEMO SECTIONS

PRELIMINARY
 NOT FOR
 CONSTRUCTION



1 GARAGE PROPOSED SECTION
 SCALE: 1/4" = 1'-0"

SECTION LEGEND

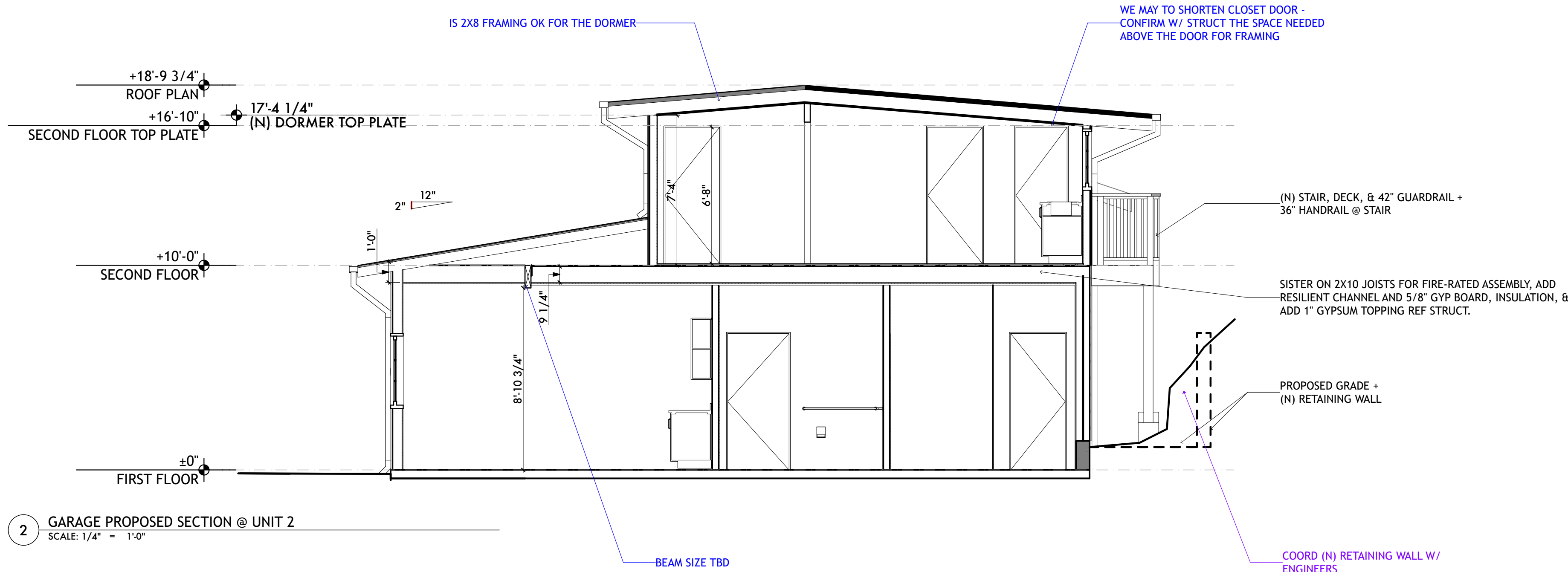
- 01 DOOR TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- 18'-7" T.O. PLATE DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

THE QUALITY OF A BUILDING
 FORM SHALL NOT BE
 CONSIDERED AS A GUARANTEE
 THAT ALL DEFECTS
 ARE REVEALED IN THE
 DOCUMENT. THE GENERAL
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BY	REVISIONS	Date
01		



2 GARAGE PROPOSED SECTION @ UNIT 2
 SCALE: 1/4" = 1'-0"

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A3.3
 Plotted On: 5/26/22

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE

CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND,
 CA 95005

APN: 078-273-15

THE QUALITY OF A BUILDING
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BY	REVISIONS	Date
01		

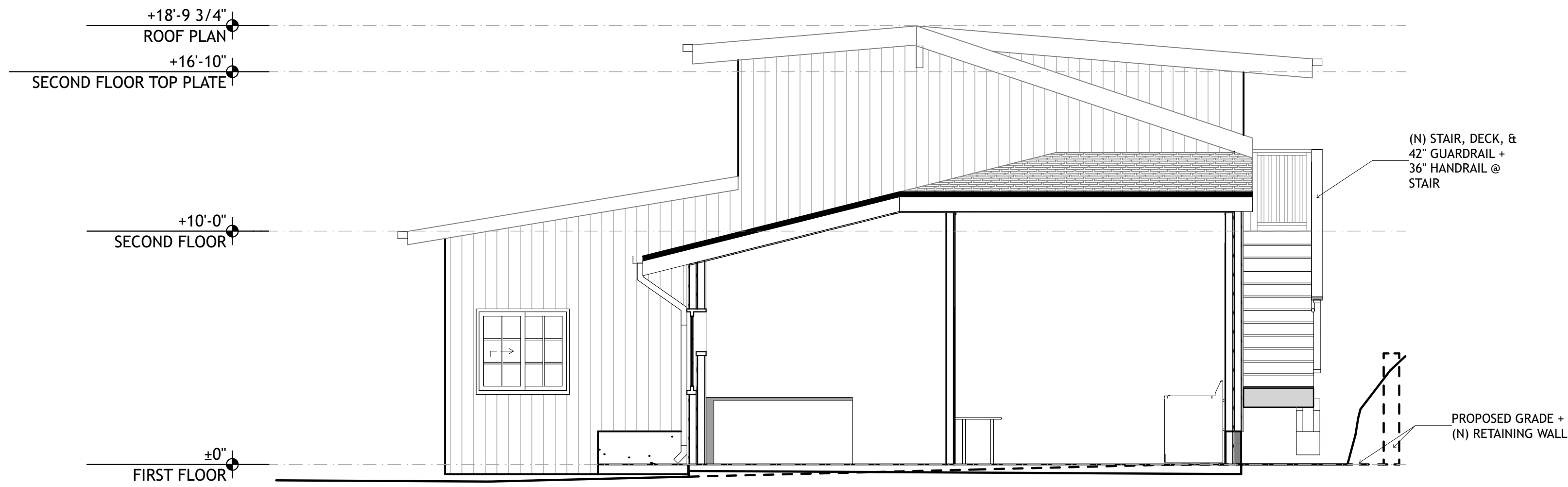
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Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL

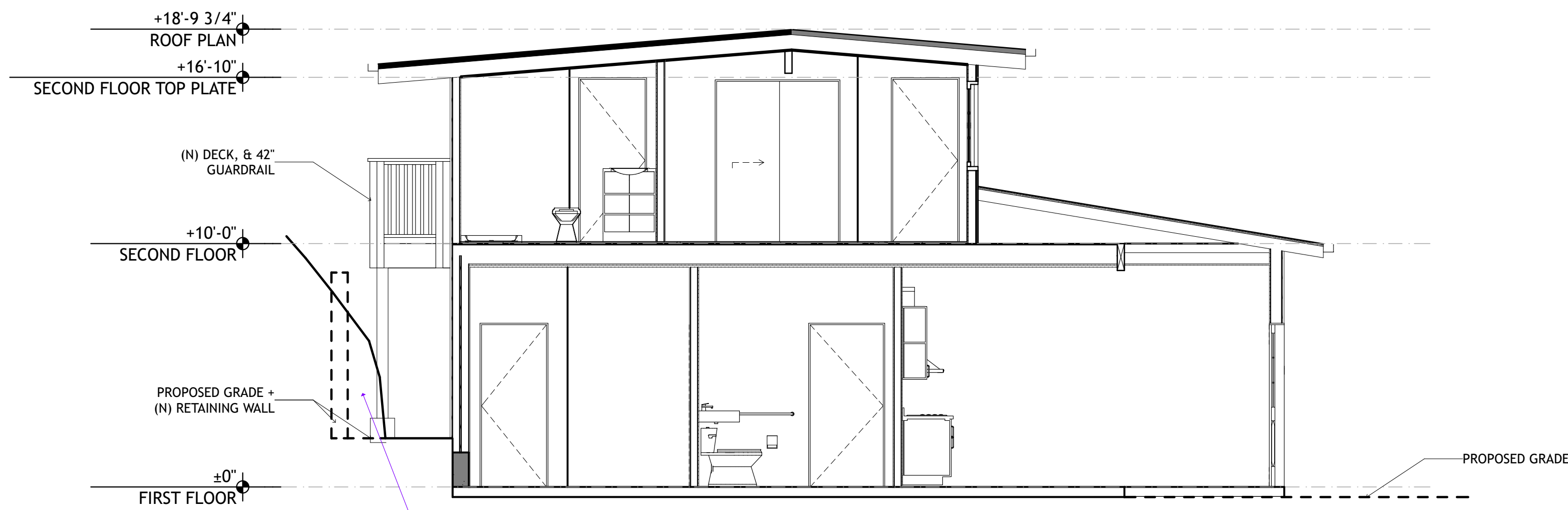
A3.4

Plotted On: 5/26/22

GARAGE PROPOSED SECTIONS



1 GARAGE PROPOSED SECTION @ LAUNDRY & LEASING
 SCALE: 1/4" = 1'-0"



2 GARAGE PROPOSED SECTION @ UNIT 1
 SCALE: 1/4" = 1'-0"

COORD (N) RETAINING WALL W/
 ENGINEERS

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NAME: VETERANS VILLAGE
 CLIENT: CHRIS COTTINGHAM
 ADDRESS: 8705 HWY 9, BEN LOMOND, CA 95005
 APN: 078-273-15

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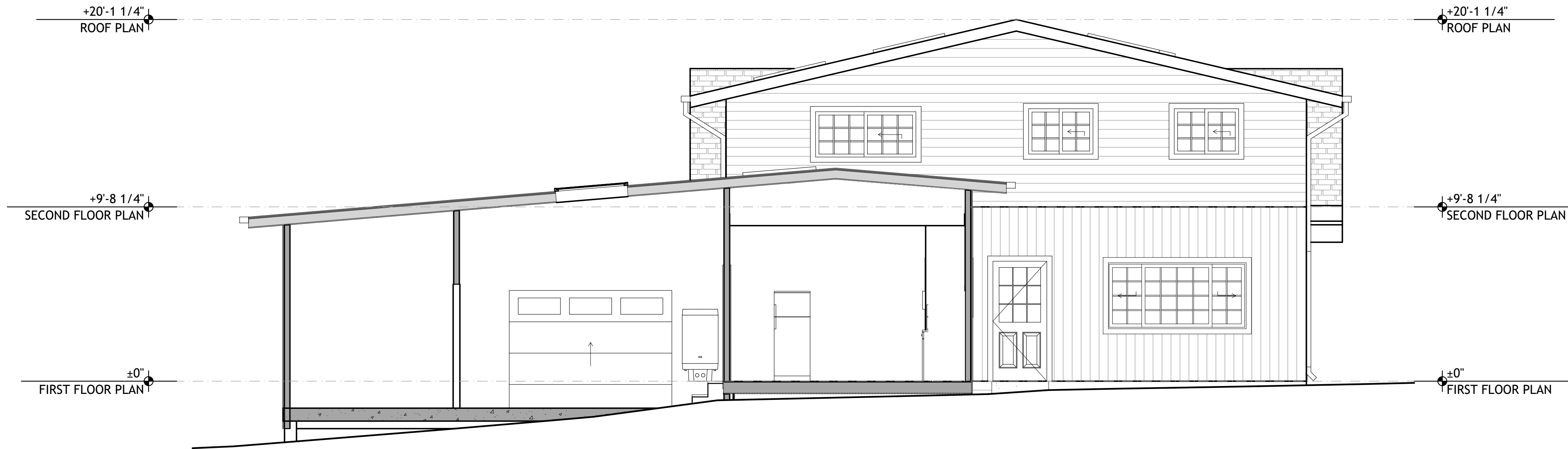
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BY	REVISIONS	Date
01		

Date:	5/26/22
Scale:	AS NOTED
Drawn:	ZL/EU
Checked:	CN
Job:	22-10

DRG SUBMITTAL
A3.6
 Plotted On: 5/26/22

HOUSE EXISTING-DEMO SECTIONS



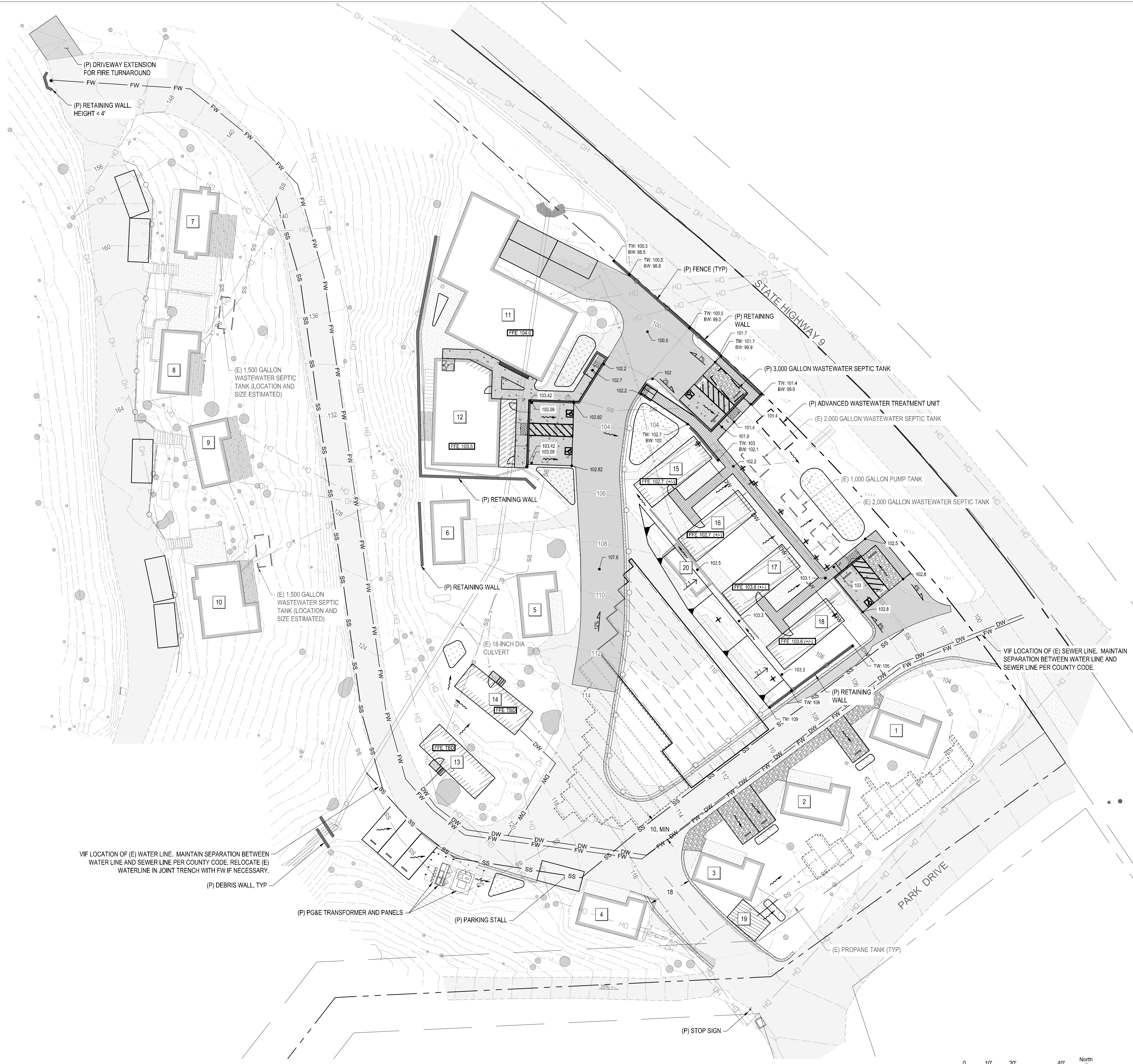
1 HOUSE EXISTING-DEMO SECTION @ GARAGE & LAUNDRY
 SCALE: 1/4" = 1'-0"



2 HOUSE EXISTING-DEMO SECTION @ HOUSE
 SCALE: 1/4" = 1'-0"

SECTION LEGEND

- 01 DOOR TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- 115 WINDOW TAG - SEE SCHEDULE ON SHEET #LayID(ref)
- +19'-2" T.O. PLATE DATUM AND HEIGHT OF STRUCTURE
- 02.01 KEYNOTE
- EX-PT-1 EXTERIOR MATERIAL TAG



SYMBOLS LEGEND		PATTERN LEGEND	
	(E) CONTOURS		(E) ASPHALT CONCRETE
	(P) CONTOURS		(E) CONCRETE
	(E) EDGE OF PAVEMENT		(E) BUILDING
	LIMIT OF GRADING		(P) ASPHALT CONCRETE
	(E) OVERHEAD ELECTRIC LINE		(P) VEHICULAR / PEDESTRIAN AB
	(E) UNDERGROUND ELECTRIC		(P) VEHICULAR / PEDESTRIAN CONCRETE
	(E) SEWER LINE		(P) PERMEABLE PAVEMENT
	(E) TOP OR TOE LINE		(P) STORMWATER FEATURE
	(E) FENCE		(P) BUILDING
	(E) TREE		(P) AB SHOULDER
	(E) TREE TO BE REMOVED		(P) WASTEWATER DISPOSAL AREA
	(E) OVERHEAD WIRE		(P) WASTEWATER DISPOSAL EXPANSION AREA
	(E) UG ELECTRICAL	ABBREVIATIONS	
	ESTIMATED PARCEL BOUNDARY AND R.O.W.	AB	AGGREGATE BASE
	(P) FENCE	AC	ASPHALT CONCRETE
	(P) PARKING STALL	BW	BOTTOM OF WALL / BACK OF WALK
	(P) SEWER LINE	CL	CENTERLINE
	(P) WATERLINE	CONC	CONCRETE
	(P) FIRE WATER LINE	DW	DOMESTIC WATER
	(P) BOLLARD	(E)	EXISTING
	(P) FIRE HYDRANT	EL. ELEV	ELEVATION
	(E) FIRE HYDRANT	FFE	FINISHED FLOOR ELEVATION
	(P) ACCESSIBLE ROUTE	FG	FINISH GRADE
		FM	FIRE HYDRANT
		FT	FEET
		FW	FIRE WATER
		GM	GAS METER
		GV	GATE VALVE
		(P)	PROPOSED
		PG&E	PACIFIC GAS AND ELECTRIC
		SD	STORM DRAIN
		SDE	SHERWOOD DESIGN ENGINEERS
		SDMH	STORM DRAIN MANHOLE
		SS	SANITARY SEWER
		SSMH	SANITARY SEWER MANHOLE
		TBD	TO BE DETERMINED
		TW	TOP OF WALL
		TYP	TYPICAL
		UG	UNDERGROUND
		VIF	VERIFY IN FIELD

SCALE: 1" = 20'

Note: If the graphic scale does not equal 1", this sheet has been modified from its original size.

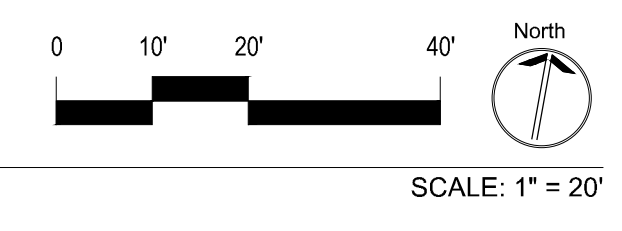
NO	DATE	REVISION

PROJECT NO. 22-001

DATE	CH
06/30/22	

TABLE OF EXISTING AND PROPOSED BUILDINGS

KEYNOTE	DISCRIPTION	EXISTING CONDITIONS	PROPOSED CONDITIONS
1	CABIN 1	STUDIO	REMODELED ONE BEDROOM UNIT
2	CABIN 2	STUDIO	REMODELED ONE BEDROOM UNIT
3	CABIN 3	STUDIO	REMODELED ONE BEDROOM UNIT
4	CABIN 4	STUDIO	REMODELED ONE BEDROOM UNIT
5	CABIN 5	STUDIO	REMODELED ONE BEDROOM UNIT
6	CABIN 6	STUDIO	REMODELED ONE BEDROOM UNIT
7	CABIN 7	STUDIO	REMODELED ONE BEDROOM UNIT
8	CABIN 8	STUDIO	REMODELED ONE BEDROOM UNIT
9	CABIN 9	ONE BEDROOM	REMODELED ONE BEDROOM UNIT
10	CABIN 10	TWO BEDROOM	REMODELED TWO BEDROOM UNIT
11	MAIN HOUSE	FOUR BEDROOM	REMODELED FOUR ROOM BUILDING
12	GARAGE	THREE CAR GARAGE	NEW TWO STORY BUILDING COMPRISED OF TWO ADA UNITS, LEASING OFFICE, LAUNDRY ROOM, AND ONE BEDROOM APARTMENT FOR HOST
13	MODULAR 1	RV SPACE	NEW MODULAR ONE BEDROOM UNIT
14	MODULAR 2	RV SPACE	NEW MODULAR ONE BEDROOM UNIT
15	MODULAR 3	SWIMMING POOL AREA	NEW MODULAR ONE BEDROOM UNIT
16	MODULAR 4	SWIMMING POOL AREA	NEW MODULAR ONE BEDROOM UNIT
17	MODULAR 5	SWIMMING POOL AREA	NEW MODULAR ONE BEDROOM UNIT
18	MODULAR 6	SWIMMING POOL AREA	NEW MODULAR ONE BEDROOM UNIT
19	WASTE RECEPTACLES	UNDEVELOPED	GARBAGE AND RECYCLING DISPOSAL COLLECTION AREA
20	POOL BUILDING	POOL BUILDING	TO BE DEMOLISHED



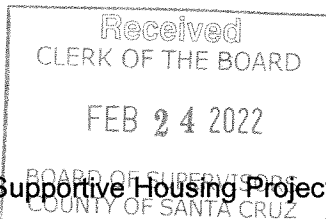


County of Santa Cruz

PLANNING DEPARTMENT
701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: 711
PAIA LEVINE, INTERIM PLANNING DIRECTOR
www.scco.planning.com

NOTICE OF EXEMPTION

To: Clerk of the Board
Attn: Stephanie Cabrera
701 Ocean Street, Room 500
Santa Cruz, CA 95060



THIS NOTICE HAS BEEN POSTED AT THE CLERK OF THE BOARD OF SUPERVISORS OFFICE FOR A PERIOD COMMENCING 2/24/2022 AND ENDING 3/26/2022

Project Name: Veterans Village Supportive Housing Project

Project Location: 8705 Highway 9, Ben Lomond, CA 95005

Assessor Parcel Nos.: 078-273-15 and 078-272-06

Project Applicant: Santa Cruz County Veterans Memorial Building Board of Trustees

Project Description: Acquisition, rehabilitation, and conversion of an existing motel property with 1 existing single-family home and 10 motel cabins in a commercial "Visitor Accommodations" (VA) zone, into a 20-unit "Homekey" permanent supportive housing project to be funded by the California Homekey Round 2 Grant Program authorized by AB 140 of 2021. The project also includes installation of six new, 1-bedroom modular dwelling units on the site, demolition of an existing 3-car garage/carport, and in its place, construction of a 2-story, 1,600 square foot building consisting of three new 1-bedroom units and a small leasing office.

Agency Approving Project: County of Santa Cruz

County Contact: Robert Ratner **Telephone No.** (831) 454-4925

Date Completed: 2/22/2022

This is to advise that the County of Santa Cruz has found the project to be exempt from CEQA under the following criteria:

Exempt status: (check one)

- The proposed activity is not a project under CEQA Guidelines Section 15378.
- The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- The proposed activity is exempt from CEQA as specified under CEQA Guidelines Section 15061(b)(3).
- Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

- Categorical Exemption**

Reasons why the project is exempt:

This exemption is conditioned on the project receiving an award of Homekey Round 2 funds. AB 140 of 2021 includes a "land use exemption" that deems all Homekey Round 2 projects "consistent and in conformity with any applicable local plan, standard, or requirement, and any applicable coastal plan, local or otherwise, and allowed as a permitted use, within the zone in which the structure is located, and shall not be subject to a conditional use permit, discretionary permit, or any other discretionary reviews or approvals." (CA Health & Safety Code § 50675.1.3 (h)). As a non-discretionary, permitted use, it is a ministerial project which is exempt from further CEQA review.

DocuSigned by:
Stephanie Hansen
Signature: _____
Environmental Coordinator

Date: 2/24/2022



General Building and Engineering Contractors
126 Fern Street, Santa Cruz, Ca. 95060
California Contractor's License #709778

VETERANS VILLAGE

8705 HIGHWAY 9 - Physical Needs Assessment

Date: 01/25/21

Project: 8705 HWY9, Ben Lomond, CA 95005

APN: 078-273-15 and 078-272-06

Client: Santa Cruz County Veterans Memorial Building Board of Trustees

Project Physical Needs Assessment

Project Description:

Acquisition and rehabilitation of an existing motel property in a commercial zone with one four-bedroom home and ten motel cabins with a combined total of 15 existing bedrooms (approximately 5,800 of existing floor area), to be converted into 20 units of permanent housing with supportive services ("PSH units") projected to house up to 25 long term homeless Veterans residents of Santa Cruz County.

Site work may include: 1) repair/rehabilitation of existing buildings/infrastructure; 2) site improvements to meet applicable health and safety codes; 3) structural additions 4) installation of [6] Modular prefabricated units or other portable structures to be connected to onsite utilities and used as housing units; and 5) upgrade or replacement of existing septic and electrical system to meet current regulations applicable to projected proposed residential use occupancy levels.

Introduction:

The subject property is in the unincorporated area of Santa Cruz County in the San Lorenzo Valley. The property is comprised of two parcels identified by the Santa Cruz County Assessor as parcel numbers 078-273-15 and 078-272-06 (the property). Parcel 078-273-15 is 5.2 acres and parcel 078-272-06 is 0.7 acres. Parcel 078-273-15 contains all of the site improvements. Parcel 078-272-06 is listed by Santa Cruz County Assessor as an unbuildable lot. The property is served by the San Lorenzo Valley Water District. The property wastewater is treated and disposed of through an onsite wastewater system.

The property is currently used as a motel, with one large structure which is a combined 4 bedroom house and office, 8 studio cabins, 1 one bedroom cabin, and 1 two bedroom cabin. According to a 2021 "Water Conservation Certification" the property currently has a total of 14

toilets and 13 shower heads. The property has a total of 15 bedrooms.

The plan for the property is to convert to a permanent housing site for up to 25 Veterans/Family Members through addition of up to two modular units to the RV spots, in-fill the pool area for additional modular units, and conversion of the existing garage/carport structure to **three** 1-bedroom units and an office. Additional units will depend on significant upgrades to the current septic system.

Design / Engineering

Architectural Design, Permits, Structural Design

Geotechnical Report

Repair / Rehabilitation

Main House - Remodel/Refresh of Existing House

Renovation Description: New Finishes(paint, flooring etc) and fixtures at interior with basic patching and repairs. Fire sprinklers will be added to the home. Subfloor repair, kitchen and bath upgrades.

Roof

Type: Gable / Asphalt Pitch: Medium / Steep Age: 1-5 Years

Roof appeared in overall satisfactory and serviceable condition. Ventilation appeared adequate and in good condition. Flashing appeared in satisfactory and serviceable condition. Roof coverings appeared overall satisfactory, but will need minor maintenance. Just like Windows, unwanted accumulation of grime, leaves, dust ,dirt mold growth, etc causes irreversible damage to the skylight material and reduces light penetration. Recommend cleaning skylights. Plumbing vents appeared in satisfactory condition.

Exterior

Gutters were incorrectly pitched, recommended to be repaired. Gutters were equipped with gutter guards. Although will keep debris out of gutter maintenance is required to keep clear. Siding had some damage, recommend repairing/replacing damaged sections Siding in contact with soil, recommend keeping a clearance of 6-8" from bottom of siding to soil See pest report for further findings. Trim had some deterioration, recommended for repair and for painting. Facia appeared to be in satisfactory condition. Recommend caulking around windows, doors, corners, utility penetrations. Windows and screen's appeared in satisfactory condition. Foundation appeared to be in satisfactory condition. Main service appeared in satisfactory and serviceable condition at time of inspection. Recommend GFCI'S be installed on all exterior receptacles. Overall the Doors appeared in satisfactory and serviceable condition

Kitchen

Counters were in satisfactory condition at time of inspection. Cabinets have normal wear. Water flow was normal with several fixtures operated at the same time. Drain lines had no

visible leaks or signs of backup at the time of inspection. The purpose of a dishwasher high drain loop is to prevent back flow of water. The water can flow back into the dishwasher which will leave water in the bottom of the dishwasher. Recommend the drain line be looped. Walls and ceiling appeared in satisfactory condition at time of inspection. This area of the home was found to be heated by a centrally located wall heater. Floor was in satisfactory condition at time of inspection. Appliances only tested for operation, working or not. Quality or extent of operation not part of testing or inspection Dishwasher drain line not looped beneath countertop. Recommend repair The NEC requires GFCI protection in kitchens of dwelling units where the receptacles are installed to serve counter top services.

Laundry Room

Recommend a washer drain pan be installed. The washer pan will catch any leaks due to washing machine overflow or hose failure, or any drips where the hoses connect to the machine also protects the floor from condensation. The glass that is used to make incandescent bulbs is very thin. Because of this item is fragile and a slight bump can cause the bulb to break. Recommend fixtures with glass globes. Drains show no signs of back-up during time of inspection. Detected fault at GFCI recommend that a licensed electrician to evaluate. Low flow shower head noted. Recommend cleaning grate at exhaust vent to improve overall efficiency.

Bathroom (1) - Master bath

Recommend maintaining caulking where the tub and flooring meet to prevent moisture intrusion. Recommend maintaining caulking at base of toilet. Drains show no signs of back-up during time of inspection. Detected fault at GFCI recommend that a licensed electrician to evaluate. Low flow shower head noted. Recommend cleaning grate at exhaust vent to improve overall efficiency.

Bathroom (2) - First floor bath

Recommend maintaining caulking at base of toilet. Shower diverter not working recommend repair or replacement. Drains show no signs of back-up during time of inspection. Low flow toilet noted Overall the bathroom appeared in satisfactory condition.

Bathroom (3) - Second floor bath

Drains show no signs of back-up during time of inspection. Low flow toilet noted Overall the bathroom appeared in satisfactory condition. Low flow shower head noted.

Room (1) - MASTER BEDROOM

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Room (2) - BEDROOM

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Room (3) - BEDROOM

Moisture stains observed at ceiling no moisture present at time of inspection. Overall the room appeared in satisfactory and serviceable condition at time of inspection. Exposed romex recommend licensed electrician to evaluate and repair, romex should be run in a protective conduit.

Room (4) - BEDROOM

Missing outlet cover; recommend replacement. This is a Safety Concern. Overall the room appeared in satisfactory and serviceable condition at time of inspection. Trim and drywall missing at closet doors recommended repair and replacements. Thermostat present no baseboard heater was discovered in the room.

Room (5) - BEDROOM

Overall the room appeared in satisfactory and serviceable condition at time of inspection. Baseboard heater did not respond to testing.

Room (6) - FAMILY ROOM

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Living Room:

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Dining Room

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection. Sloping in floor

Interior

Fireplace appears to be in satisfactory and serviceable condition. Found stairs to be in satisfactory condition. No smoke detectors or carbon monoxide detector noted at time of inspection, recommend installation. It is recommended that Carbon Monoxide detectors be installed at all levels of the home.

Crawl Space

Evidence of vermin in sub area recommend licensed pest inspector evaluate and develop pest control plan. Insulation has been pulled down; recommend licensed insulation contractor to replace. Open junction boxes were observed in sub area recommend licensed electrician to evaluate and repair. Found access to sub area to be adequate and unobstructed. Foundation walls appeared in satisfactory condition. Cellulose debri present, recommend removing. Seismic bolts appeared satisfactory for a home of this era. Efflorescence was noted on stem wall. Efflorescence is caused by Vapor migrating through the slab bringing soluble salts to the surface of the concrete. It can be an indication of moisture intrusion; recommend monitoring during the rainy season and contact appropriate trades if necessary. Sub area was found to be well ventilated and in satisfactory condition. Posts in sub area not providing adequate support

recommend contacting licensed building contractor to evaluate and repair. Floor joists have some cracking , recommend repairing or replacing Moisture damage noted under

bathroom. Insulation was hanging down in miscellaneous locations; recommend contacting appropriate trades for evaluation and repair. No Vapor barrier was noted at time of inspection.

Plumbing

Water Service: Excessive water pressure recommend licensed plumber to adjust or install pressure regulator. Normal pressure should be between 40 and 80 psi.

Water Heater #1: AGE - 5-10+ Temperature-Pressure relief valve extension should be 4"-6" off of the floor - this is a Safety Concern. Recommend installation of seismic water heater strapping. As a rule a water heater will last 8 to 12 years but with proper maintenance you could double the life.

Heating system

Approx. age: 20-25+ Furnace was in normal working order at the time of the inspection. Wall furnaces are installed directly into the wall and vented out through the home in single story homes, and through the ceilings in multiple story homes. Wall heaters produce heat through the wall heater and not a ducting system, so they will heat a small space quickly and maintain the heat in the room Recommend licensed HVAC contractor to further evaluate. Electric baseboard heaters did not respond to testing; recommend contacting appropriate trades to further evaluate.

Electric/Cooling System

Panel size appeared to be compatible to service size. Panel appeared in good condition and serviceable.

Sub panel(s): Location 1: Garages Location 2: Laundry room: No signs of overheating were evident at the time of the inspection. Double tapping of breakers was noted, recommend licensed electrician to evaluate and repair. Screws that hold the panel cover on were found to be missing recommend replacement

Garage / Carport Area

The existing carport would be removed to build a new two story structure 800 sf per floor and would have three 400 sf, one bedroom living units and one office.

Landscaping / Tree Service:

Raise the ladder of the trees around the roadway to allow for fire department access. Clear bowing branches, trees surrounding buildings, and dead / fallen trees.

Grounds:

Service walks appeared in satisfactory condition. A seal coat is recommended on driveway to prolong life and enhance the look of the home. Porch was found to be in satisfactory and

serviceable condition at time of inspection. Driveway had some settlement, but usable, recommend repair

Stoops/Steps

Recommend installation of pickets at stair railings, the vertical guards that support the handrails must be installed close enough that the space between them is no greater than 4 inches. Recommend installation of proper grab rails for safety. Some step risers are uneven, may present a trip hazard. Recommend repair and/or replacement. Patio block is uneven and presents a tripping hazard; recommend repair.

Patio

Patio had some cracking and settlement, but was in usable condition. Recommend repair

Fence / Wall

The fencing was in overall satisfactory condition. Gates were found to be operational and in overall adequate condition.

Landscaping affecting foundation

General site drainage was properly sloping away from the house. It is recommended that trees be planted a minimum of 10 feet from any structure to reduce the chance of root intrusion damaging the foundation and large branches damaging the roof. Recommendation to Trim back trees/shrubberies.

Retaining wall

Retaining wall appeared to be in satisfactory and serviceable condition at time of inspection.

Hose Bibs

Hose bib(s) not equipped with anti-siphon devices, possible cross connection can occur without anti-siphon device, recommend installing Hose bib(s) leaking from handle/stem, recommend repair.

Insulation, Electrical, Subfloor repair, Kitchen and bath upgrades?

Cabin 1 - Remodel/Refresh of Existing Cabin

Renovation Description: Add Bedroom and Egress Window. Assumes one non structural wall, new window, new interior door, new floors and paint throughout, address all minor repairs. Fire sprinklers will be added to the Cabin.

Roof

Type: Gable / Asphalt

Pitch: Medium

Age: 5-10+

Roof coverings appeared overall satisfactory, but will need minor maintenance. Moss commonly thrives in environments that are damp and shaded. Moss absorbs moisture from the damp environment and establishes roots on your roof causing the beginning of roof degradation, recommend proper trades be contacted to remove. Recommend keeping roof clear of debris to prevent premature aging and deterioration. Plumbing vents appeared in satisfactory condition. Missing cap at roof jack

General

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection. Fungus damage and dry rot at entry post recommend contacting appropriate trades for repair or replacement. Well furnace was tested and found being satisfactory condition at time of inspection. Recommend GFCI receptacles will be installed in all bathrooms and kitchens.

Cabin 2 - Remodel/Refresh of Existing Cabin - Physical ADA

Renovation Description: Add Bedroom and Egress Window. Assumes one non structural wall, new window, new interior door, new floors and paint throughout, Addition for ADA Bathroom, address all minor repairs. Fire sprinklers will be added to the Cabin.

Roof

Type: Gable / Asphalt Pitch: Medium Age: 5-10+

Roof coverings appeared overall satisfactory, but will need minor maintenance. Moss commonly thrives in environments that are damp and shaded. Moss absorbs moisture from the damp environment and establishes roots on your roof causing the beginning of roof degradation, recommend proper trades be contacted to remove. Recommend keeping roof clear of debris to prevent premature aging and deterioration. Plumbing vents appeared in satisfactory condition.

General

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection. Crack and vanity top that bathroom. Smoke detectors were tested and found in satisfactory condition at time of inspection. Wall furnace was tested and found to be in satisfactory condition at time of inspection

Cabin 3 - Remodel/Refresh of Existing Cabin - Hearing/Sight Impaired ADA

Renovation Description: Add Bedroom and Egress Window. Assumes one non structural wall, new window, new interior door, new floors and paint throughout, Addition for ADA Bathroom, address all minor repairs. Fire sprinklers will be added to the Cabin. ADA Sitework, Path of Travel, Hearing / Sight Equipment.

Roof

Type: Gable / Asphalt Pitch: Medium Age: 5-10+

Roof coverings appeared overall satisfactory, but will need minor maintenance. Moss commonly thrives in environments that are damp and shaded. Moss absorbs moisture from the damp environment and establishes roots on your roof causing the beginning of roof degradation, recommend proper trades be contacted to remove. Recommend keeping roof clear of debris to prevent premature aging and deterioration. Plumbing vents appeared in satisfactory condition.

General

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection. Fungus and dry rot damage on post at entry recommend contacting appropriate trades to evaluate and repair. Dry rot fungus damage at trim. Well finish was tested and found being satisfactory condition at time of inspection.

Cabin 4 - Remodel/Refresh of Existing Cabin

Renovation Description: Add Bedroom and Egress Window. Assumes one non structural wall, new window, new interior door, new floors and paint throughout, address all minor repairs. Fire sprinklers will be added to the Cabin.

Roof

Type: Gable / Asphalt Pitch: Medium Age: 5-10+

Roof coverings appeared overall satisfactory, but will need minor maintenance. Moss commonly thrives in environments that are damp and shaded. Moss absorbs moisture from the damp environment and establishes roots on your roof causing the beginning of roof degradation, recommend proper trades be contacted to remove. Recommend keeping roof clear of debris to prevent premature aging and deterioration. Plumbing vents appeared in satisfactory condition.

General

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Cabin 5 - Remodel/Refresh of Existing Cabin

Renovation Description: Add Bedroom and Egress Window. Assumes one non structural wall, new window, new interior door, new floors and paint throughout, address all minor repairs. Fire sprinklers will be added to the Cabin.

Roof

Type: Gable / Asphalt Pitch: Medium Age: 5-10+

Roof coverings appeared overall satisfactory, but will need minor maintenance. Moss commonly thrives in environments that are damp and shaded. Moss absorbs moisture from the damp environment and establishes roots on your roof causing the beginning of roof degradation, recommend proper trades be contacted to remove. Recommend keeping roof

clear of debris to prevent premature aging and deterioration. Plumbing vents appeared in satisfactory condition.

General

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Cabin 6 - Remodel/Refresh of Existing Cabin

Renovation Description: Add Bedroom and Egress Window. Assumes one non structural wall, new window, new interior door, new floors and paint throughout, address all minor repairs. Fire sprinklers will be added to the Cabin.

Roof

Type: Gable / Asphalt Pitch: Medium Age: 5-10+

Roof coverings appeared overall satisfactory, but will need minor maintenance. Moss commonly thrives in environments that are damp and shaded. Moss absorbs moisture from the damp environment and establishes roots on your roof causing the beginning of roof degradation, recommend proper trades be contacted to remove. Recommend keeping roof clear of debris to prevent premature aging and deterioration. Plumbing vents appeared in satisfactory condition.

General

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Cabin 7 - Remodel/Refresh of Existing Cabin

Renovation Description: Add Bedroom and Egress Window. Assumes one non structural wall, new window, new interior door, new floors and paint throughout, address all minor repairs. Fire sprinklers will be added to the Cabin.

Roof

Type: Gable / Asphalt Pitch: Medium Age: 5-10+

Roof coverings appeared overall satisfactory, but will need minor maintenance. Moss commonly thrives in environments that are damp and shaded. Moss absorbs moisture from the damp environment and establishes roots on your roof causing the beginning of roof degradation, recommend proper trades be contacted to remove. Recommend keeping roof clear of debris to prevent premature aging and deterioration. Plumbing vents appeared in satisfactory condition. Siding had some damage, recommend repairing/replacing damaged sections See pest report for further findings. Trim had some deterioration recommend repair and painting See pest report for further findings.

General

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Exterior

Chimney appeared to be in satisfactory and serviceable condition. Recommend having flue cleaned and Re Evaluated. No gutters were installed, recommend installing gutters and downspouts to remove water from property and guard against water intrusion. Recommend monitoring caulking and repair as necessary. Windows and screen's appeared in satisfactory condition.

Deck/Balcony

Balusters too far apart, for additional safety recommend balusters be a maximum of 4" apart - safety concern for small children.

Cabin 8 - Remodel/Refresh of Existing Cabin

Renovation Description: Add Bedroom and Egress Window. Assumes one non structural wall, new window, new interior door, new floors and paint throughout, address all minor repairs. Fire sprinklers will be added to the Cabin.

Roof

Type: Gable / Asphalt Pitch: Medium Age: 5-10+

Roof coverings appeared overall satisfactory, but will need minor maintenance. Moss commonly thrives in environments that are damp and shaded. Moss absorbs moisture from the damp environment and establishes roots on your roof causing the beginning of roof degradation, recommend proper trades be contacted to remove. Recommend keeping roof clear of debris to prevent premature aging and deterioration. Plumbing vents appeared in satisfactory condition.

The IBC recommends deck railings to be a minimum of 36 inches; recommend installing proper height railings.

General

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Cabin 9 - Remodel/Refresh of Existing Cabin (1 BR)

Renovation Description: Add Egress Window, new floors and paint throughout, address all minor repairs. Fire sprinklers will be added to the Cabin.

Roof

Type: Gable / Asphalt Pitch: Medium Age: 5-10+

Roof coverings appeared overall satisfactory, but will need minor maintenance. Moss commonly thrives in environments that are damp and shaded. Moss absorbs moisture from the damp environment and establishes roots on your roof causing the beginning of roof degradation, recommend proper trades be contacted to remove. Recommend keeping roof clear of debris to prevent premature aging and deterioration. Plumbing vents appeared in satisfactory condition.

Damage sliding screen door at cabin 9.

General

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Cabin 10 - Remodel/Refresh of Existing Cabin (2 BR)

Renovation Description: Add Two Egress Window, new floors and paint throughout, address all minor repairs. Fire sprinklers will be added to the Cabin.

Roof

Type: Gable / Asphalt Pitch: Medium Age: 5-10+

Roof coverings appeared overall satisfactory, but will need minor maintenance. Moss commonly thrives in environments that are damp and shaded. Moss absorbs moisture from the damp environment and establishes roots on your roof causing the beginning of roof degradation, recommend proper trades be contacted to remove. Recommend keeping roof clear of debris to prevent premature aging and deterioration. Plumbing vents appeared in satisfactory condition.

General

Walls and ceiling appeared in satisfactory condition. Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Exterior

Chimney appeared to be in satisfactory and serviceable condition. Recommend having flue cleaned and Re Evaluated. No gutters were installed, recommend installing gutters and downspouts to remove water from property and guard against water intrusion. Siding had some damage, recommend repairing/replacing damaged sections See pest report for further findings. Trim had some deterioration recommend repair and painting See pest report for further findings. Recommend monitoring caulking and repair as necessary. Windows and screen's appeared in satisfactory condition.

Site Improvements

Description: Trenching and installation of underground piping for to each residential structure (does not include modulars or rv) for new fire sprinklers. (does not include pressure system)

Septic System

Improvement Description: Upgrade or replacement of existing septic systems to meet current regulations applicable to projected residential use occupancy levels. Additional Septic Tank (2,000 gallon), Construct New Secondary Leachfield, Enhanced Treatment System

2. EXISTING ONSITE WASTEWATER SYSTEM

2.1 Septic Tanks

Based on information obtained from a review of Santa Cruz County Environmental Health (SCCEH) files, the property onsite wastewater system includes two (2) 1,500 gallon fiberglass septic tanks located below cabins 7, 8, 9 and 10 on the west side of the property, and two (2) 2,000 gallon concrete tanks on the east side of the property along Highway 9. There is also a 1,500 gallon concrete pump tank in the area adjacent to Highway 9. The concrete tanks including the pump tank were installed in 2021 along with new electrical connections, pump, and high level alarm. SCCEH files

Table 2. Septic Systems, 8905 Highway 9, Ben Lomond, California

Septic System	Connections	No. of Bedrooms Served	Design Flow (gpd)	Required Septic Tank Volume (gallons)	Available Septic Tank Volume (gallons)	Status
1	House (4 bedrooms) plus 2 cabins	6	900	2,700	2,000	undersized
2	4 cabins	4	600	1,800	2,000	ok
3	2 cabins	2	300	900	1500	ok
4	2 cabins	3	450	1,350	1500	ok
	TOTALS	15	2,250	6,750	7,000	

Total septic tank storage for the site comprise of five tanks is 7,000 gallons with a pump tank of 1,500 gallons.

2.2 Pump and Distribution System

According to the site drawings from the Santa Cruz County Environmental Health files the wastewater is pumped from the pump tank by a single pump through a 2-inch diameter PVC pipe to a distribution box located at higher elevation in the central portion of the property. The distribution box distributes wastewater into the leach lines for subsurface percolation by gravity
Flow.

2.3 Leach Lines

A 1971 "Application for Sewage Disposal Permit" with a drawing in the SCCEH files documents

shows an existing 1,500 gallon redwood tank on the property, and installation of a “new trench”

that is 40 feet long by 2 feet wide by 8 feet deep. The form gives the trench total square feet (adsorption area) of 640 square feet. (The property is listed as single family residence with two bedrooms but the sketch shows two cabins.)

Shortly thereafter, in September 1972, there is a report of water running onto Highway 9 from the property. An “Application for Sewage Disposal Permit” dated October 1972 with a drawing, documents an existing 4,000 gallon concrete tank, and installation of 75 feet of 10 feet deep trench, assigned an adsorption area of 1,500 square feet.

An “Application for Sewage Disposal Permit” dated May 16, 1979, with drawing depicts two leach lines to the west of the distribution box with labels indicating 18 inch wide trenches, 9 feet deep, with one leach line 65 feet long and the other 53 feet long. Assuming an effective depth of 8 feet, SDE estimates these leach lines have an adsorption area of approximately 1,888 square feet.

SCCEH files documents the installation of 2 leach lines with no permit in September 1985. The drawing on a “Field Note Data Sheet” depicts two leach lines, each 60 feet long and 5 feet effective depth for an adsorption area of approximately 1,000 square feet. Combined, these trenches have 5,028 square feet of adsorption area (see Table 2).

Table 2. Septic Systems, 8905 Highway 9, Ben Lomond, California

Septic System	Connections	No. of Bedrooms Served	Design Flow (gpd)	Required Septic Tank Volume (gallons)	Available Septic Tank Volume (gallons)	Status
1	House (4 bedrooms) plus 2 cabins	6	900	2,700	2,000	undersized
2	4 cabins	4	600	1,800	2,000	ok
3	2 cabins	2	300	900	1500	ok
4	2 cabins	3	450	1,350	1500	ok
TOTALS		15	2,250	6,750	7,000	

The leach fields were tested in 2021 by a licensed septic contractor during septic tank pumping by adding water to the lines for 30 minutes and were found to be accepting water without rising or flowing back. In addition, a septic tank contractor who replaced septic tanks at the site also

reported that the leach lines appeared to be functioning properly. Based on these earlier assessments it appears that the leach fields are functioning properly.

3.0 SITE INSPECTION

SDE conducted a site inspection of the property wastewater systems on January 4, 2022. SDE observed the manhole cover of the pump tank and the distribution box cover. There appeared to have been extensive work done on the septic system as indicated by soil disturbance and placement of straw for erosion control. Based on these field observations and the sketches in the Santa Cruz County files, SDE prepared a schematic of the onsite wastewater system (Figure 1)

4.0 EVALUATION OF EXISTING SEPTIC SYSTEM

Based on the existing occupancy at the site, SDE has completed a capacity analysis of the system

based on the Sewage Disposal standards promulgated by the County of Santa Cruz (Chapter 7.38). This analysis considers 15 full full-time residents, comprised of 10 residents in the 10 cabins and 5 residents in the 5-bedroom house. The analysis includes estimations of average wastewater flow estimate, and the required septic tank and leachfield sizes.

Flow Estimates. Average daily flow estimates are based on the expected level of full-time occupancy on the property of 15 people. The unit flow values are derived from the County of Santa Cruz's "Santa Cruz County Local Agency Management Program 10.14.2021 Appendix C. Summary of Onsite Wastewater Treatment System (OWTS) Requirements, Table 3-6: Design Flows for Non-Residential Uses", which lists 150 gallons per day (gpd) per bedroom for multiresidential housing, including apartments. Based on the expected occupancy at the site, SDE estimates that average daily flow for the entire system will be 2,250 gpd (see Table 2).

Septic Tank Volume. Pursuant to the requirements of the County of Santa Cruz, Section 7.38.160

(C), septic tank volume shall be three times the peak daily flow. Peak flow is estimated at equal to the design flow for this project. For the purposes of septic tank volume calculations, the septic system is divided into septic subsystems, and there are a total of four subsystems.

Septic System 1 serves two one-bedroom cabins and a five bedroom house for a total of 7 bedrooms with an estimated peak flow of 1,050 gallons per day, which requires a 3,150 gallon septic tank according to the County of Santa Cruz Code. Septic System 1 is connected to a 2,000 gallon septic tank, so this septic tank is undersized.

Septic Sub-system 2 serves four cabins for a total of four bedrooms and a peak flow of 600 gpd, which requires a septic tank volume of 1,800 gallons. Septic System 2 is connected to a 2,000 gallon tank, so this is septic tank is adequate.

Septic Systems 3 and 4 each serve 2 cabins with one bedroom each for total of 2 bedrooms each, so an average flow of 300 gpd each with a requirement of 900 gallons septic tank volume.

Each is connected to a septic tank that is 1,500 gallons, so both are adequate.

Leachfield Area. Soil conditions at the site were documented in a January 17, 2018, Santa Cruz County Inspection Report to have a percolation rate within the range of 6 to 30 minutes per inch

(MPI) percolation rate. SDE estimated the allowable application rates from the Santa Cruz County Code (Section 7.38.150 (A) (2)) "Effluent Application Rate Based on Soil Percolation Rate" for a Conventional System for 6 MPI to be 1.1 gallons per square foot per day and for 30 MPI to be 0.53 gallons per square foot per day. Using these application rates and the absorption

area of leachfields of 5,140 square feet, SDE estimates that the existing leachfields are capable of disposing of between 2,700 to 5,650 gpd, which is greater than the design flow of 2,250 gpd. It is important to note the actual condition of the leachfields is uncertain at this time. The best available information indicates they are functioning properly under the loading conditions of the present use. Expanding the property use to full-time residences will result in higher volumes of water discharged to the leachfields, which could potentially be problematic.

5.0 EVALUATION OF ADDITIONAL OCCUPANCY

5.1 Addition of Hookups for Two Existing RV Parking Spots

Reportedly there are two existing RV parking spots at the site. Assuming that both RV hookups are occupied the increased flow will be two at 100 gpd according to the Santa Cruz County Lamp design flow for an additional 200 gpd. The addition of the existing RV hookups increases the design flow for the property to 2,450 gpd.

It is also important to note that according to the Santa Cruz County Lamp, these hookups require 600 gallons of septic storage. There does not appear to be a septic tank at the RV hookup location, so either a new septic tank should be installed or the septage from the RV sites should be pumped to the existing tanks that have excess capacity. In addition, if the Septic System 1 septic tank is increased in size to accommodate existing flows this can also be increased to accommodate the two RV sites.

The two existing RV hookup discharge of 200 gpd can be accommodated in the existing leachfields according to the calculations presented above. The total design flow to the leachfield

including the RV hookups is approximately 2,450 gpd, which is less than the lower estimate of leachfield adsorption capacity of 2,700 gpd. It is important to note that the existing property has been a motel that may have been intermittently occupied seasonally, a mode of operation which gives the leachfields an opportunity to "rest" during off season periods. With full time

occupancy the leachfields cannot rest, which can lead to decreased adsorption rates over time.

has been a motel that may have been intermittently occupied seasonally, a mode of operation which gives the leachfields an opportunity to “rest” during off season periods. With full time occupancy the leachfields cannot rest, which can lead to decreased adsorption rates over time.

5.2 Addition of Rooms in Remodeled Building

As we understand there is an intention to remodel and convert the garage at the site to accommodate two additional bedrooms. Based on this proposed conversion the total daily flows at the site will increase by 300 gpd (2 bedrooms at 150 gpd per bedroom), which when added to the current total flow of 2,240 gpd will result in a total flow of 2,540 gpd. The Santa Cruz County Local Area Management Plan (LAMP) Section 7.38.160 (A) “Standards for domestic wastewater systems to service commercial and industrial establishments, institutions, and recreational areas.” states, in part, the following:

“For all large systems serving more than five residential units or having peak daily flows greater than 2,500 gallons per day and less than 10,000 gallons per day, enhanced treatment systems as specified in SCCC 7.38.183 will be required.”

So, converting the garage into bedrooms increases the total flow and triggers this requirement for an enhanced treatment system.

The Santa Cruz County Local Area Management Plan (LAMP) also states in Section 7.38.080 “Existing system—Building alterations” states, in part, the following:

“The sewage disposal system for additions, alterations, or replacements of buildings or structures shall comply with all the requirements for new buildings or structures except as specifically provided in this section.”

So, converting this building to add additional bedrooms to the site will likely trigger conformance to current standards. Presently, the existing leachfields are non-conforming systems that do not likely comply with vertical separation to shallow groundwater at the site. Therefore, to comply with the current standard the County would likely require enhanced treatment and possibly replacement of leachfields if groundwater separation requirements cannot be met.

Additional connections to septic system 1 will also require additional septic tank volume as discussed above.

5.0 CONCLUSIONS

5.1 Existing Conditions

1. The onsite wastewater disposal system is permitted and functioning to meet the current occupancy of 15 people in accordance with the County's requirements.
2. Based on the capacity analysis the septic tank serving System 1 is undersized and should be increased in capacity.
3. The leachfield size appears to meet the Santa Cruz County requirements. However, it is important to note that the existing property is a motel that has intermittent occupancy year-round. (During the site visit Sherwood observed that three or four cabins appear to have full-time residence.)
4. Due to the intermittent occupancy of the site, the subsurface disposal system is not fully loaded all of the time and the soils can "rest". If the site is put into full-time year-round occupancy there is a potential risk that the subsurface disposal system(s) could become oversaturated with time and fail. Installing a secondary leachfield system that provides additional capacity and allows the rotation between two leachfield systems so they can be "rested" periodically would be a good approach to manage wastewater at the site.

5.2 Evaluation of Additional Occupancy

5.2.1 RV Hookups

Addition of two existing RV hookups will require installation of additional septic tanks or pumping of septage into septic tanks with unutilized capacity. The onsite wastewater disposal system leachfields documented in the site files are calculated to have adequate adsorption area to accommodate the addition of two RV hookups, however, due to the change in occupancy from intermittent to year-round, installation of a secondary leachfield system that provides additional capacity and allows the rotation between two leachfield systems so they can be "rested" periodically would be a good approach to manage wastewater at the site.

5.2.2 Garage Conversion

Conversion of the garage in the house into two bedrooms has been proposed to increase the number of residents. This conversion as proposed will likely trigger sections of the LAMP and County Code which require an enhanced treatment system and compliance with new requirements such as separation from groundwater which may require replacement of the existing leachfields.

Additional connections to Septic System 1 will also require that additional septic tank volume be

added to this part of the wastewater system at the site.

If an enhanced treatment system is installed at the site, the wastewater will be highly treated and will allow for a higher soil application rate to the leachfield system. Therefore, additional bedroom units could be installed at the site in addition to the two new units planned for the Garage.

5.3. Recommendations

Based on our review of the site conditions and existing wastewater systems at the site, Sherwood has prepared the following recommendations:

1. Sherwood recommends that a new 2,000 gallon single septic tank be installed in Septic System 1 to increase the capacity to 4,000 gallons. This additional capacity will support the existing flows, including the RV hookups.
2. Sherwood would recommend that a secondary leachfield system be installed to increase the capacity of the system and to allow each leachfield system to be rotated and rested several months each year.
3. If the owner chooses to add the two additional bedrooms by converting the existing garage to living space, then a small, enhanced treatment system should be installed. The enhanced treatment system should be sized to treat approximately 3,000 gallons per day. This size of treatment system would support three (3) additional bedrooms at the site or a total of 20 units, applying a unit flow of 150 gpd per bedroom.

6.0 ENGINEER'S OPINION OF PROBABLE COSTS

Sherwood has prepared preliminary opinion of probable costs for the recommended improvements. Table 3 provides an engineer's opinion of probable cost to complete recommended repairs and upgrades the onsite wastewater disposal system for existing conditions, RV hookups, and Remodeling. The cost estimate includes prevailing wages as a 28% increase over normal labor costs.

Table 3. Summary of Wastewater Improvements Costs, 8905 Highway 9, Ben Lomond, California

Scenario	Item	Opinion of Cost
Existing + RV	Additional Septic Tank (2,000 gallon)	\$25,000
Existing + RV	Construct New Secondary Leachfield	\$187,270
Remodeling	Enhanced Treatment System	\$210,991

Utilities/Site Improvements

Underground for Fire Sprinkler System, ADA Sitework

Increase load of Main breaker from 200 to 400 AMPS and Secondary from 100 to 200 AMPS.

Additional Modular Units

Infill Pool Create Pad/Install Utilities for Four Modular Units., Improve Existing RV Pads, Total installation of [4] Modular prefabricated units and (2) RV's or other portable structures to be connected to onsite utilities and used as housing.

Alternate Adds

Subfloor Repair and Reinforcing at cabins, Re-Roof all existing structures with new insulation under roofing, Refresh existing cabin bath rooms, Refresh existing cabin kitchens



Moorhouse
Inspection
Services

Home Inspection Report



8705 Highway 9. Cabins Jay's Timberland Resort., Ben Lomond, CA 95005

Inspection Date:

Sunday November 14, 2021

Prepared For:

Paul Zech

Prepared By:

Donald Moorhouse
2650 Monterey Ave
Soquel, California 95073
(831) 295-3194
reilly2004@sbcglobal.net

Report Number:

3486

Inspector:

Donald Moorhouse

Inspector Signature:

Donald Moorhouse

Report Overview

Scope of Inspection

All components designated for inspection in the ASHI Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

Main Entrance Faces

North
East

State of Occupancy

Vacant
Occupied

Weather Conditions

Sunny

Recent Rain

No

Ground Cover

Damp

Approximate Age

60 Years

Report Summary

Items Not Operating

Some igniters at the cooktops did not function properly recommend repair.

Major Concerns

None apparent

Potential Safety Hazards

Balusters too far apart, for additional safety recommend balusters be a maximum of 4" apart - safety concern for small children . Cabin 7

The IBC recommends deck railings to be a minimum of 36 inches, recommend installing proper height railings. Cabin 8

Hose bib(s) not equipped with anti-siphon devices, possible cross connection can occur without anti-siphon device, recommend installing

Recommend GFCI'S be installed on all exterior receptacles.

Recommend GFCI receptacles be installed in all bathrooms and kitchens.

Recommend maintaining weather tight covers at all exterior receptacles.

Bad ground was noted at one receptacle recommend licensed electrician to evaluate and repair. At cabin 8 & 9

Recommend installation of seismic waterheater strapping.

Deferred Cost Items

Item's that have reached or are reaching their normal life expectancy or show indications that they may require repair or replacement anytime during the next 5 years.

None apparent

Improvement Items

No gutters were installed, recommend installing gutters and downspouts to remove water from property and guard against water intrusion.

Items To Monitor

Moss commonly thrives in environments that are damp and shaded. Moss absorbs moisture from the damp environment and establishes roots on your roof causing the

Report Summary

Items To Monitor

beginning of roof degradation, recommend proper trades be contacted to remove.
Recommend keeping roof clear of debris to prevent premature aging and deterioration.
Siding had some damage, recommend repairing/replacing damaged sections
Trim had some deterioration recommend repair and painting
Recommend monitoring caulking and repair as necessary.
Carbon monoxide and smoke detectors are tested and found to be unsatisfactory
condition at time of inspection.

Receipt/Invoice

Donald Moorhouse
2650 Monterey Ave
Soquel, California 95073
(831) 295-3194

Date: Nov 14, 2021

Inspected By: Donald Moorhouse

Property Address
8705 Highway 9. Cabins Jay's Timberland
Resort.

Ben Lomond, CA 95005

Inspection Number: 3486

Payment Method: Not Paid

Client: Paul Zech

Inspection	Fee
Home Inspection	\$1,250.00

Total	\$1,250.00
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Grounds

Service Walks

None Not Visible

Material Concrete Flagstone Gravel Brick Other: .

Condition Satisfactory Marginal Poor Trip hazard Typical cracks Pitched towards home
 Settling cracks Public sidewalk needs repair

Comments

Photos



Driveway/Parking

None Not Visible

Material Concrete Asphalt Gravel/Dirt Brick Other: .

Condition Satisfactory Marginal Poor Settling Cracks Typical cracks Pitched towards home
 Trip hazard Fill cracks and seal

Comments Driveway had some settlement, but usable, recommend repair

Photos

Grounds



Stoops/Steps

None

Material

Concrete Wood Other: Railing/Balusters recommended

Condition

Satisfactory Marginal Poor Safety Hazard Uneven risers Rotted/Damaged
 Cracked Settled

Comments

Step risers are uneven, may present a trip hazard. Recommend repair and/or replacement

Photos



Uneven risers create a tripping hazard.



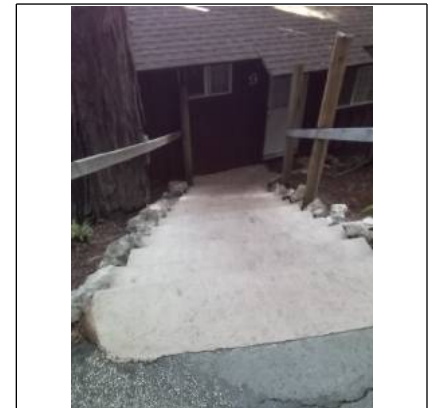
Low railings.



Dry rot fungus damage.



Steps at cabin 8



Steps a cabin nine.

Grounds



Steps at cabin 10.

Patio

None

Material

Concrete Flagstone Kool-Deck Brick Other: .

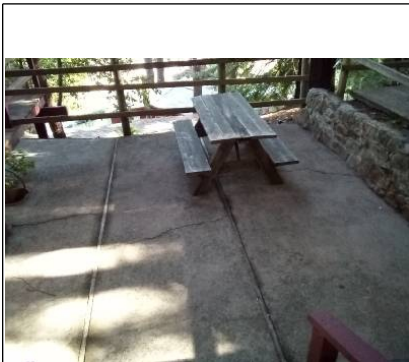
Condition

Satisfactory Marginal Poor Settling cracks Trip hazard
 Pitched towards home (see remarks) Drainage provided Typical cracks

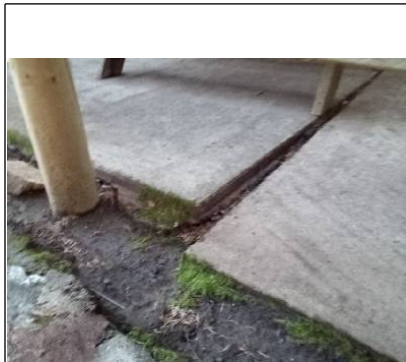
Comments

Patio block is uneven and presents a tripping hazard, recommend repair

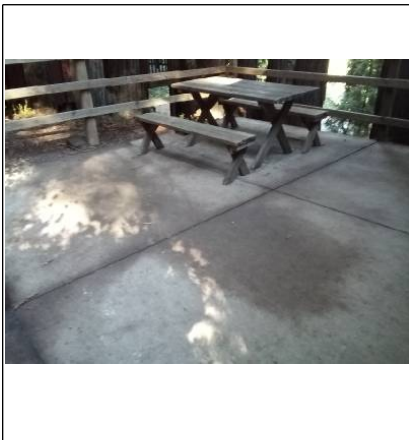
Photos



Patio at cabin 7



Patio head cabin 8



Grounds

Deck/Balcony

None Not Visible

Material Wood Metal Composite Railing/Balusters recommended

Condition Satisfactory Marginal Poor Wood in contact with soil

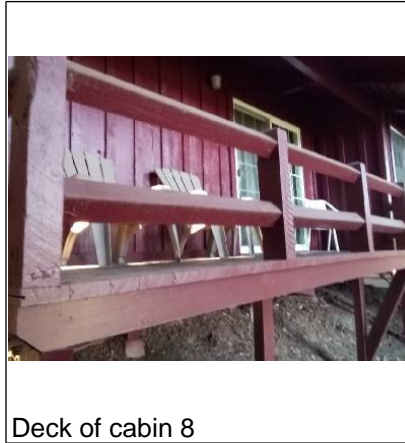
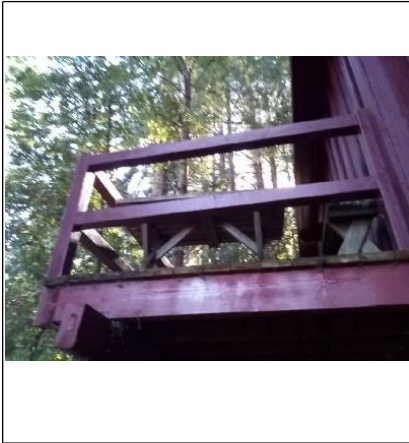
Finish Treated Painted/Stained Other: Safety Hazard Improper attachment to house
 Railing loose Not Applicable

Comments Balusters too far apart, for additional safety recommend balusters be a maximum of 4" apart - safety concern for small children. Cabin 7
 The IBC recommends deck railings to be a minimum of 36 inches, recommend installing proper height railings. Cabin 8

Photos



Deck at cabin 7



Deck of cabin 8



Low railings at deck on cabin 8.

Grounds



Fungus damage attack on cabin 9.



Deck at cabin 9.



Deck cabin 10

Fence/Wall

- Not evaluated None
- Type** Brick Block Wood Metal Chain Link Rusted Vinyl
- Condition** Satisfactory Marginal Poor Typical cracks Loose Blocks/Caps
- Gate** N/A Satisfactory Marginal Poor Planks missing/damaged Operable: Yes No

Comments The fencing was in overall satisfactory condition.

Photos



Landscaping affecting foundation

- N/A
- Negative Grade** East West North South Satisfactory Recommend additional backfill
- Recommend window wells/covers Trim back trees/shrubberies
- Wood in contact with/improper clearance to soil

Comments General site drainage was properly sloping away from the house. It is recommended that trees be planted a minimum of 10 feet from any structure to reduce the chance root intrusion damaging the foundation and large branches damaging the roof.

Photos

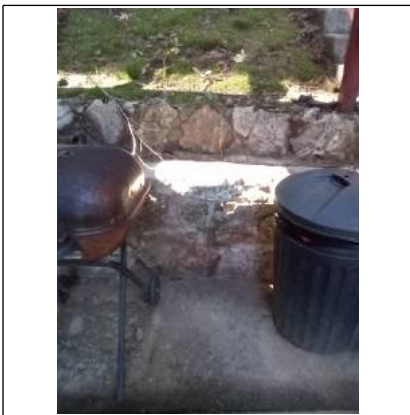
Grounds



Retaining wall

None
Material Brick Concrete Concrete block Other: Stones Railroad ties Timbers
Condition Satisfactory Marginal Poor Safety Hazard Leaning/cracked/bowed
 Drainage holes recommended
Comments Retaining wall appeared to be in satisfactory and serviceable condition at time of inspection .

Photos



Hose bibs

N/A
Condition Satisfactory Marginal Poor No anti-siphon valve Recommend Anti-siphon valve

Grounds

Hose bibs cont.

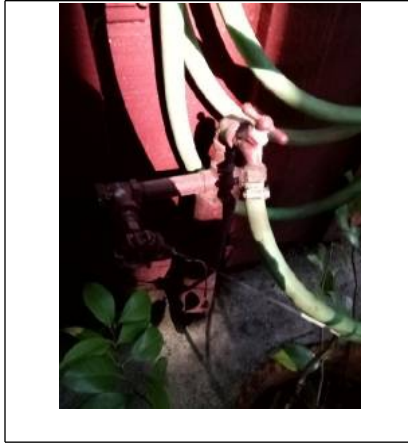
Operable Yes No Not Tested Not On

Comments Hose bib(s) not equipped with anti-siphon devices, possible cross connection can occur without anti-siphon device, recommend installing

Photos



Hose bib missing handle.



Roof

General

Visibility None All Partial Limited By: .

Inspected From Roof Ladder at eaves Ground With Binoculars

Roof was accessible and a complete assessment was made.

Style of Roof

Type Gable Hip Mansard Shed Flat Other: .

Pitch Low Medium Steep Flat

Roof #1 Type: Asphalt

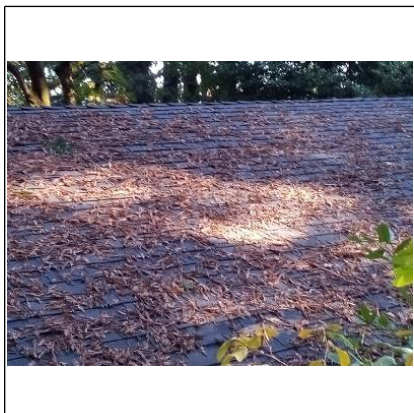
Layers: 1 Layer

Age: 5-10+

Location: Cabins

Comments Roof appeared in overall satisfactory and serviceable condition.

Photos



Condition of Roof Coverings

Roof #1 Satisfactory Marginal Poor Curling Cracking Ponding Burn Spots
 Broken/Loose Tiles/Shingles Nail popping Granules missing Alligating Blistering
 Missing Tabs/Shingles/Tiles Moss buildup Exposed felt Cupping
 Incomplete/Improper Nailing Recommend roofer evaluate Evidence of Leakage

Comments Roof coverings appeared overall satisfactory, but will need minor maintenance.

Moss commonly thrives in environments that are damp and shaded. Moss absorbs moisture from the damp environment and establishes roots on your roof causing the beginning of roof degradation, recommend proper trades be contacted to remove.

Recommend keeping roof clear of debris to prevent premature aging and deterioration.

Photos

Roof



Plumbing Vents

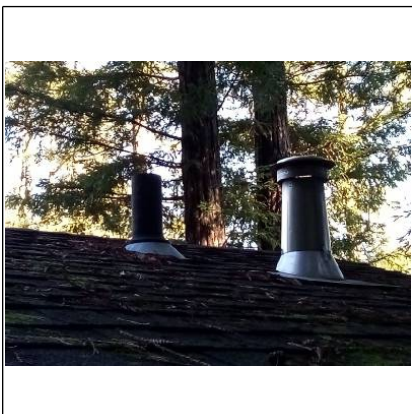
- Not Visible Not Present
 Satisfactory Marginal Poor

Condition

Comments

Plumbing vents appeared in satisfactory condition.

Photos



Exterior

Chimney(s)

None

Location(s) Cabin 7
Cabin 10

Viewed From Roof Ladder at eaves Ground (Inspection Limited) With Binoculars

Rain Cap/Spark Arrestor Yes No Recommended

Chase Brick Stone Metal Blocks Framed

Evidence of Holes in metal Cracked chimney cap Loose mortar joints Flaking Loose brick Rust
 No apparent defects

Flue Tile Metal Unlined Not Visible

Evidence of Scaling Cracks Creosote Not evaluated Have flue(s) cleaned and re-evaluated
 Recommend Cricket/Saddle/Flashing No apparent defects

Condition Satisfactory Marginal Poor Recommend Repair

Comments Chimney appeared to be in satisfactory and serviceable condition.
Recommend having flue cleaned and Re Evaluated.

Photos



Gutters/Scuppers/Eavestrough

None

Condition Satisfactory Marginal Poor Rusting Downspouts needed Recommend repair/replace
 Needs to be cleaned

Material Copper Vinyl/Plastic Galvanized/Aluminum Other: .

Leaking Corners Joints Hole in main run No apparent leaks

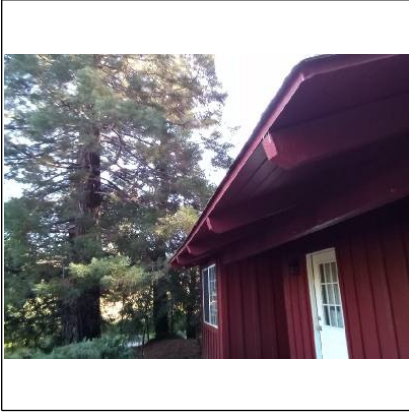
Attachment Loose Missing spikes Improperly sloped Satisfactory

Extension needed North South East West N/A

Comments No gutters were installed, recommend installing gutters and downspouts to remove water from property and guard against water intrusion.

Photos

Exterior



Siding

Material

- Stone Slate Block/Brick Fiberboard Fiber-cement Stucco EIFS* Not Inspected
 Asphalt Wood Metal/Vinyl Other: Typical cracks Peeling paint Monitor Wood rot
 Loose/Missing/Holes

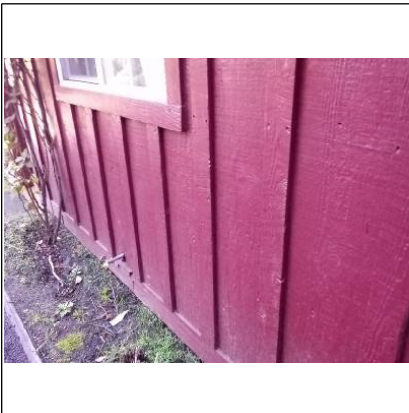
Condition

- Satisfactory Marginal Poor Recommend repair/painting

Comments

Siding had some damage, recommend repairing/replacing damaged sections
See pest report for further findings.

Photos



Trim

Material

- Wood Fiberboard Aluminum/Steel Vinyl Stucco Recommend repair/painting
 Damaged wood Other:

Condition

- Satisfactory Marginal Poor

Comments

Trim had some deterioration recommend repair and painting
See pest report for further findings.

Photos

Exterior



Caulking

None

Condition

Satisfactory Marginal Poor

Recommend around windows/doors/masonry ledges/corners/utility penetrations

Comments

Recommend monitoring caulking and repair as necessary.

Windows/Screens

Condition

Satisfactory Marginal Poor Wood rot Recommend repair/painting

Recommend repair/replace damaged screens Failed/fogged insulated glass

Material

Wood Metal Vinyl Aluminum/Vinyl clad

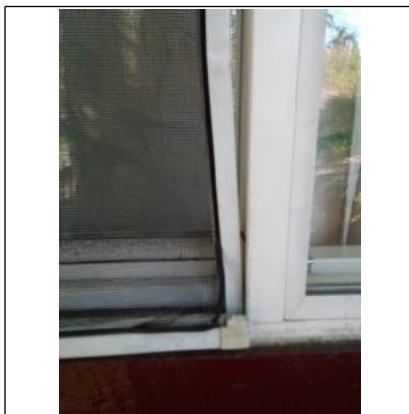
Screens

Torn Bent Not installed Satisfactory

Comments

Windows and screen's appeared in satisfactory condition.

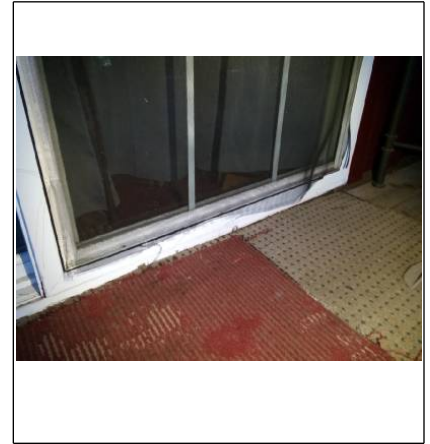
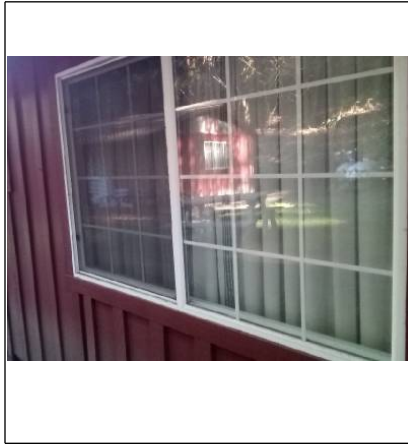
Photos



Exterior



Bent screen recommend repair.



Cracked glass at cabin 10 this is a safety concern.

Slab-On-Grade/Foundation

Foundation Wall Concrete block Poured concrete Post-Tensioned concrete Not Visible Other: ..

Condition Satisfactory Marginal Monitor Have Evaluated Not Evaluated

Concrete Slab N/A Not Visible Satisfactory Marginal Monitor Have Evaluated

Comments Foundation appeared to be in satisfactory condition.

Photos



Service Entry

Location Underground Overhead

Condition Satisfactory Marginal Poor Weather head/mast needs repair Overhead wires too low

Exterior

Service Entry cont.

Exterior receptacles Yes No Operable: Yes No Condition: X Satisfactory Marginal Poor
GFCI present Yes No Operable: Yes No X Safety Hazard Reverse polarity Open ground(s)
 Recommend GFCI Receptacles

Comments Main service appeared in satisfactory and serviceable condition at time of inspection.
 Recommend GFCI'S be installed on all exterior receptacles.

Photos



Building(s) Exterior Wall Construction

Type Not Visible Framed Masonry Other: _____
Condition Not Visible Satisfactory Marginal Poor

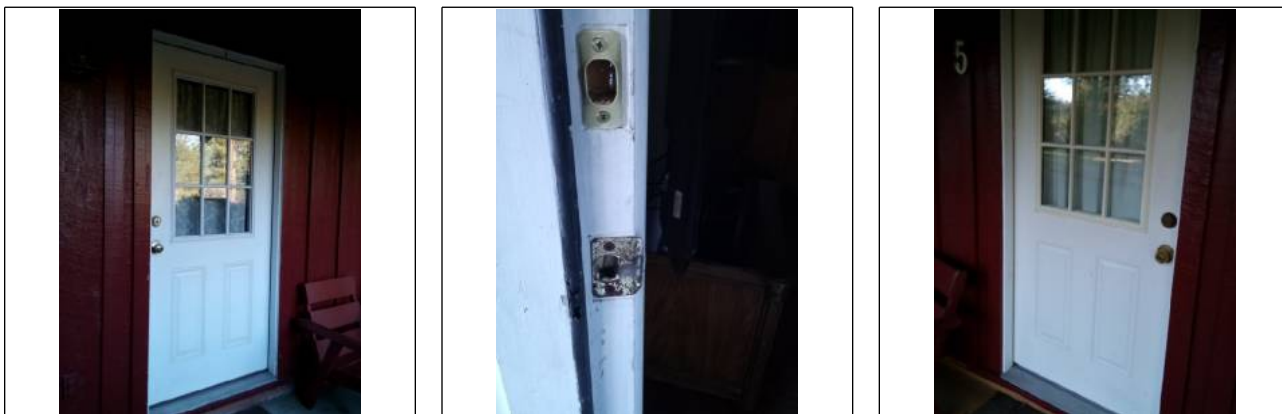
Comments Building structure not visible due to siding, not evaluated.

Exterior Doors

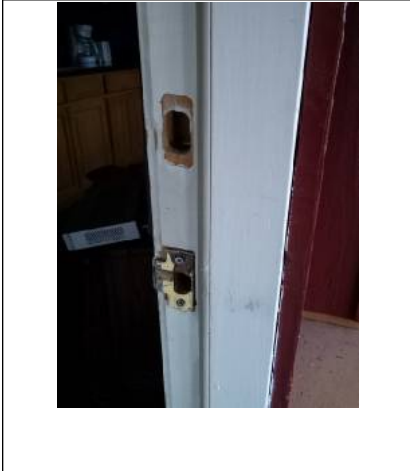
Main Entrance N/A Weatherstripping: X Satisfactory Marginal Poor Missing Replace Door condition:
X Satisfactory Marginal Poor
Patio N/A Weatherstripping: X Satisfactory Marginal Poor Missing Replace Door condition:
X Satisfactory Marginal Poor

Comments Observed damage to screen doors recommend repair or replacement.
 Overall the Doors appeared in satisfactory and serviceable condition.

Photos



Exterior



Damage sliding screen door at cabin 9.

Cabin 1

Room

Location Main lot.

Type Cabin

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

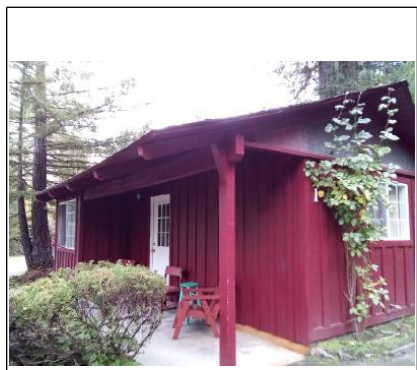
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



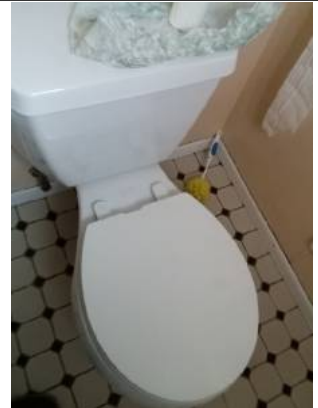
Fungus damage and dry rot at entry post recommend contacting appropriate trades for repair or replacement.



Cabin 1



Missing cap at roof jack.



Low flow toilet noted.



Recommend GFCI receptacles being installed in all bathrooms and kitchens this is a safety concern.



Cabin 1



Well furnace was tested and found being satisfactory condition at time of inspection.



Temperature at wall furnace.

Cabin (2)

Room

Location Main lot.

Type Cabin

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
 Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

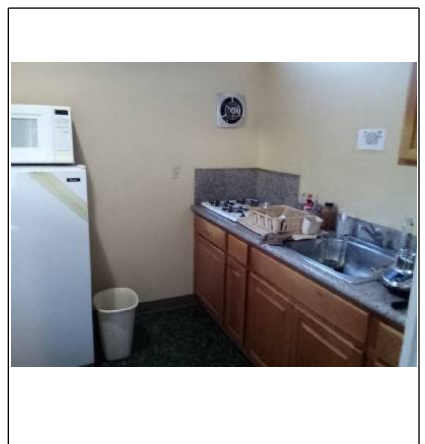
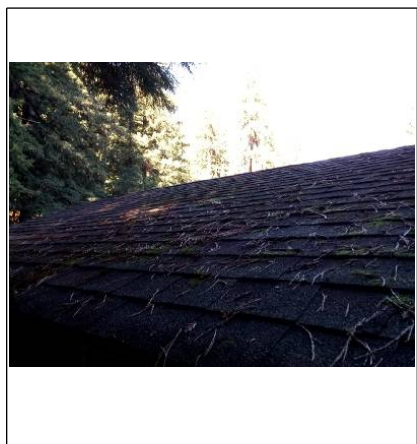
Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Ground contact.



Cabin (2)



Smoke detectors were tested and found in satisfactory condition at time of inspection.



Wall furnace was tested and found to be in satisfactory condition at time of inspection.



Crack and vanity top that bathroom.



Temperature at wall heater.

Cabin (3)

Room

Location Lower lot

Type Cabin

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
 Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

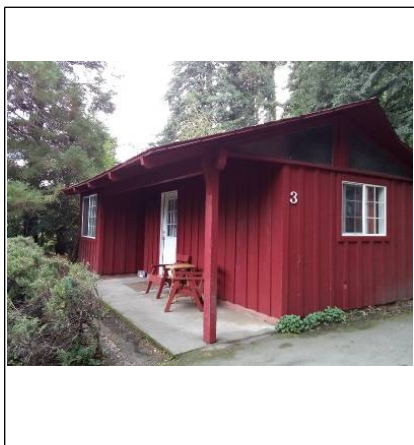
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Ground contact



Cabin (3)



Fungus and dry rot damage on post at entry recommend contacting appropriate trays to evaluate and repair.



Try rot fungus damage at trim



Cabin (3)



Well finish was tested and found being satisfactory condition at time of inspection.



Temperature at wall furnace.



Water temperature at kitchen sink.

Cabin (4)

Room

Location Main lot.

Type Cabin

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
 Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

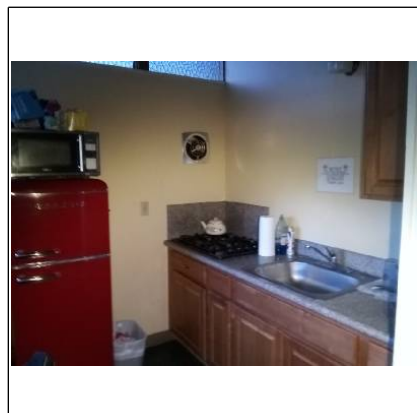
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Low flow toilets noted.



Wall furnace was tested and found to be in satisfactory condition at time of inspection.

Cabin (4)



Temperature at wall furnace.



Dry rot damage it's trim.



Siding and contact with the ground.



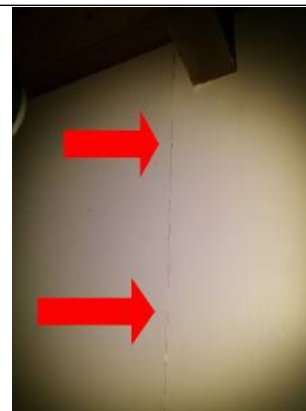
Bent and damage screen.



Cabin (4)



Recommend seismic strapping on water heater.



Open seam and drywall recommend repair and monitoring.



Cabin (5)

Room

Location Main lot

Type Cabin

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
 Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

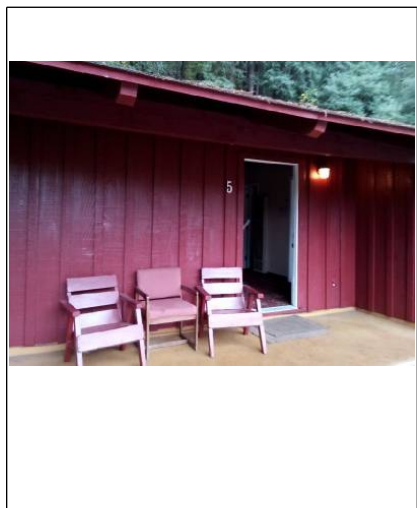
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

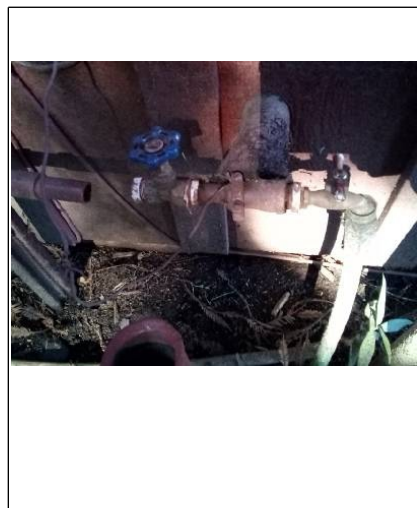
Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Fungus and dry rot noted on post at entry recommend contacting appropriate trades for repair.



Cabin (5)



Fungus dry rot damage



Recommend seismic strapping be installed.



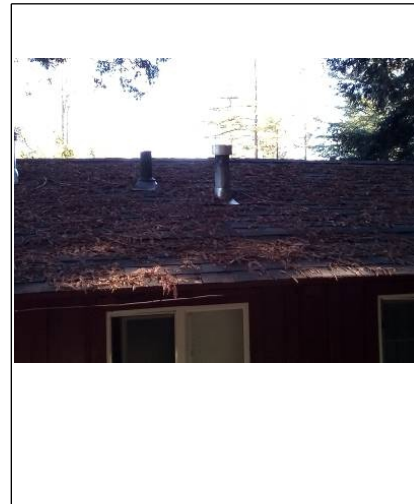
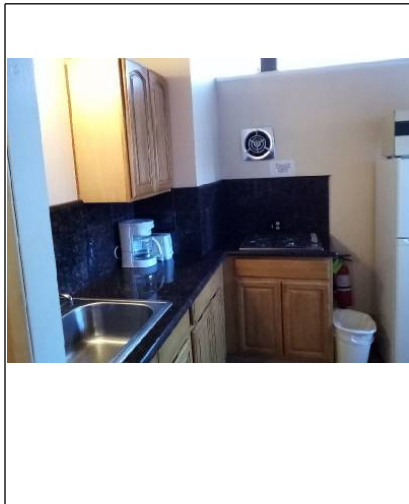
Fall furnace was tested and found to be in satisfactory condition at time of inspection.



Temperature at wall furnace.



Cabin (5)



Cabin (6)

Room

Location Main lot

Type Cabin

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
 Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

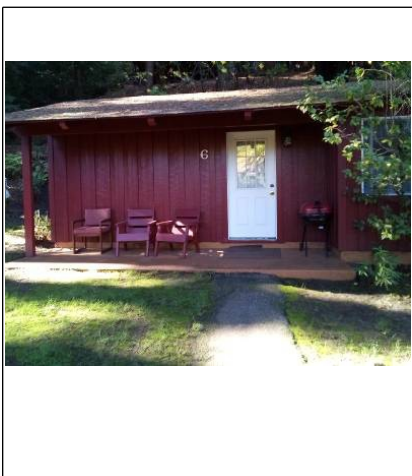
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Cabin (6)



Excessive water pressure was noted at all units recommend contacting plumber to evaluate.



Recommend seismic strapping being installed on all water heaters.



Cabin (6)



Open neutral.



Well here was tested and found being satisfactory condition at time of inspection.



Temperature at wall heater.



Cabin (7)

Room

Location Upper lot

Type Cabin

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
 Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

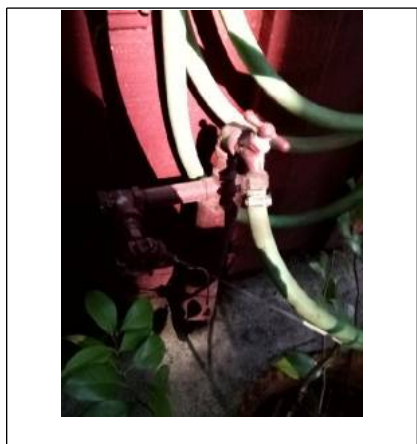
Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Dry rot damage.



Damage screen a patio door.

Cabin (7)



Low flow toilet noted.



GFCI in bathroom did not respond to testing recommend license electrician to further evaluate.



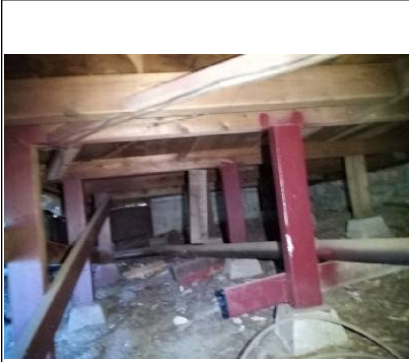
Call heater was tested and found to be in satisfactory condition at time of inspection.



Temperature at wall heater.



Cabin (7)



Cabin (8)

Room

Location Upper lot

Type Cabin

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
 Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

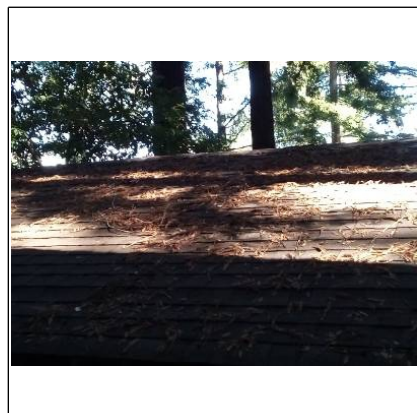
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

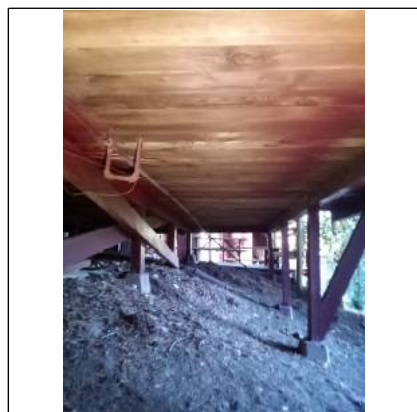
Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Bad ground was noted at one receptacle recommend licensed electrician to evaluate and repair.

Photos



Ground contact.



Cabin (8)



Settlement noted at post and Pier at corner of building recommend contacting licensed building contractor to evaluate and repair.



Hot neutral reverse



Recommend maintaining weather tight covers at all exterior receptacles.



Open ground

Cabin (8)



Fall furnace was tested and found to be in satisfactory condition at Town of inspection.



Temperature at wall furnace.

Cabin (9)

Room

Location Upper lot.

Type Cabin

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
 Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

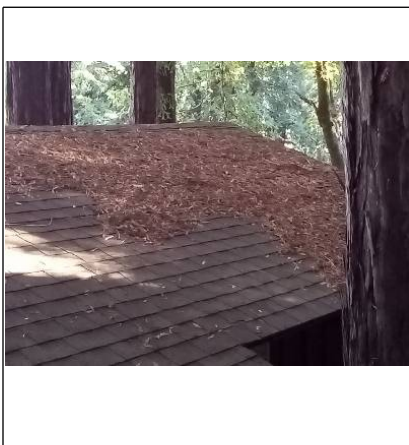
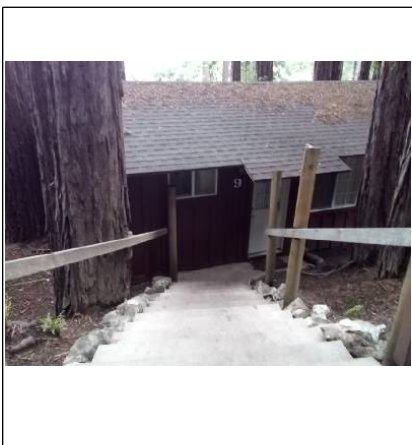
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

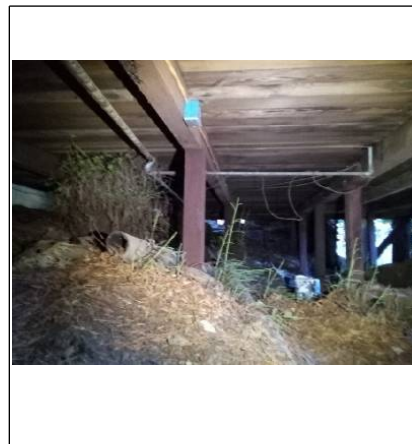
Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Ground contact.



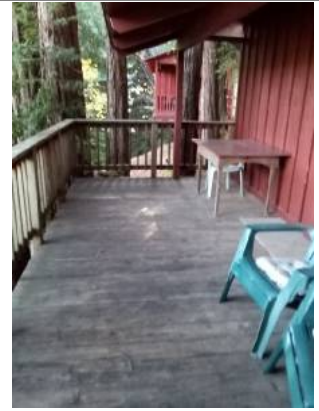
Cabin (9)



Improper support recommend contacting license building contractor to evaluate and repair.



Ground contact. Recommend removing debris from all framing members to avoid water damage.



Damaged screen at patio door recommend repair.



Cabin (9)



Open ground



Wall furnace was tested and found to be in satisfactory condition at time of inspection.



Temperature at wall furnace.

Cabin (10)

Room

Location Upper lot

Type Cabin

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
 Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

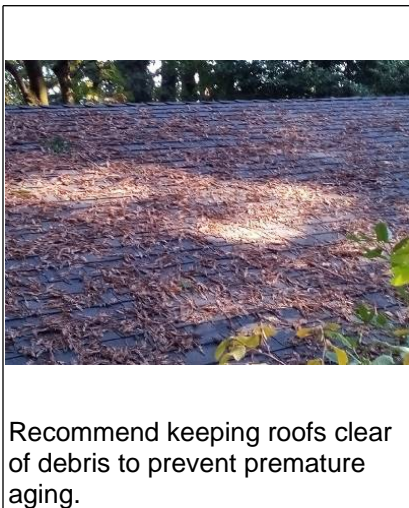
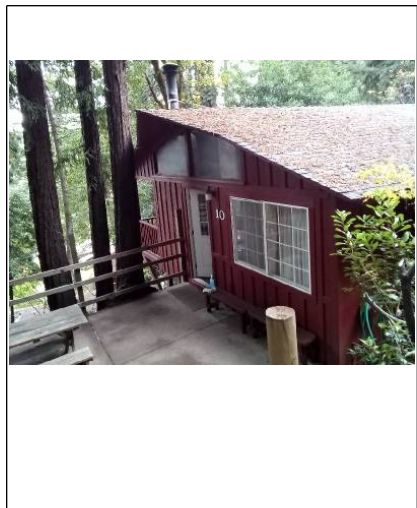
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments

Photos



Cabin (10)



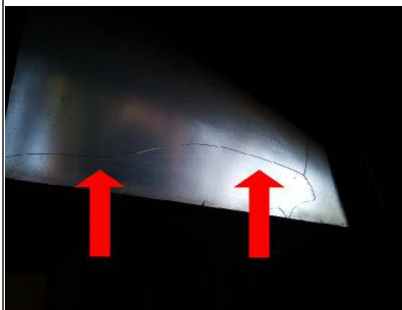
Dry rot and fungus damage.



Mission cover recommend replacement to avoid moisture intrusion.



Insulation missing on ducting recommend replacement for better heat retention.



Cracked window panes recommend replacement this is a safety concern.



Carbon and smoke detectors were tested and found to be in satisfactory condition and time of inspection.

Cabin (10)



Exposed incandescent bulb.



TFCI receptacle did not respond to testing. Recommend license electrician to evaluate and repair



Cracked glass.



Cabin (10)



Floor furnace was tested and found to be in satisfactory condition at time of inspection.



Temperature at floor furnace.



Interior

Fireplace

None

Location(s) Cabin 7

Type Gas Wood Solid fuel burning stove Electric Ventless

Material Masonry Metal (pre-fabricated) Metal insert Cast Iron

Damper modified for gas operation N/A Yes No Damper missing

Hearth extension adequate Yes No

Mantel N/A Secure Loose Recommend repair/replace

Physical condition Satisfactory Marginal Poor Recommend having flue cleaned and re-examined
 Not evaluated

Comments Recommend having flue cleaned and reexamined.
 Fireplace appears to be in satisfactory and serviceable condition.

Photos



Fireplace that unit 10.



Smoke/Carbon Monoxide detectors

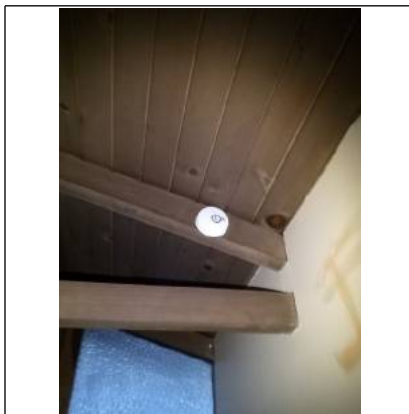
Smoke Detector Present Not Present Operable: Yes No Not tested Recommend additional
 Safety Hazard

CO Detector Present Not Present Operable: Yes No Not tested Recommend additional
 Safety Hazard

Comments Smoke detectors and Carbon monoxide detectors were tested and found to be in satisfactory working condition at time of inspection.

Photos

Interior



Plumbing

Water service

Main shut-off location On the side exterior wall

Water entry piping Not Visible Copper/Galv. PVC Plastic CPVC Plastic Polybutylene Plastic
 PEX Plastic Lead Polyethylene

Lead other than solder joints Yes No Unknown Service entry

Visible water distribution piping Copper Galvanized PVC Plastic CPVC Plastic Polybutylene Plastic
 PEX Plastic Other: .

Condition Satisfactory Marginal Poor

Flow Satisfactory Marginal Poor Water pressure over 80 psi Recommend plumber evaluate
 Recommend pressure regulator

Pipes Supply/Drain Corroded Leaking Valves broken/missing Dissimilar metal Cross connection: Yes
 No Safety Hazard Recommend repair Recommend a dielectric union Satisfactory

Drain/Waste/Vent pipe Copper Cast iron Galvanized PVC ABS Brass

Condition Satisfactory Marginal Poor

Traps proper P-Type Yes No P-traps recommended

Drainage Satisfactory Marginal Poor

Fuel line N/A Copper Brass Black iron Stainless steel CSST Not Visible Galvanized
 Recommend CSST be properly bonded

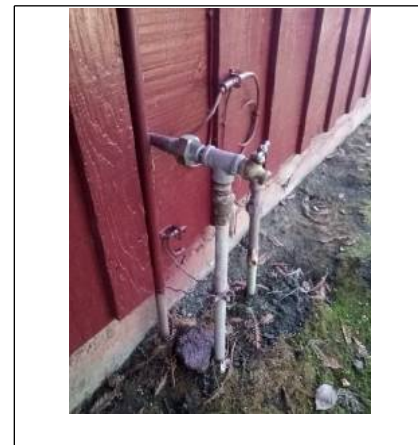
Condition N/A Satisfactory Marginal Poor Recommend plumber evaluate

Comments Excessive water pressure recommend licensed plumber to adjust or install pressure regulator. Normal pressure should be between 40 and 80 psi.

Photos



Water pressure 100 PSI.



Main fuel shut-off location

N/A

Location On the side exterior wall

Comments Propane tank on exterior of house.

Photos

Plumbing



Water heater #1

N/A

General

Brand Name: Rheem

Hoyt

Serial #: Unknown

Capacity: 40 gallons

Approx. age: 5-10+

Type

Gas Electric Oil LP Other: .

Combustion air venting present Yes No N/A

Seismic restraints needed Yes No N/A

Relief valve Yes No Extension proper: Yes No Missing Recommend repair
 Improper material

Vent pipe N/A Satisfactory Pitch proper Improper Rusted Recommend repair

Condition Satisfactory Marginal Poor

Comments

Temperature-Pressure relief valve extension should be 4"-6" off of the floor - this is a Safety Concern.

Recommend installation of seismic waterheater strapping.

Photos



Heating System

Heating system

Unit #1 Brand name: **Williams**
 Approx. age: **10-15+**
 Unknown Model #: Serial #: Satisfactory Marginal Poor
 Recommended HVAC technician examine

Energy source Gas LP Oil Electric Solid fuel

Warm air system Belt drive Direct drive Gravity Central system Floor/wall furnace

Heat exchanger N/A Sealed Not Visible Visual w/mirror Flame distortion Rusted
 Carbon/soot buildup

Carbon monoxide N/A Detected at plenum Detected at register Not tested

Combustion air venting present N/A Yes No

Controls Disconnect: Yes No Normal operating and safety controls observed Gas shut off valve:
 Yes No

Distribution Metal duct Insulated flex duct Cold air returns Duct board Asbestos-like wrap
 Safety Hazard

Flue piping N/A Satisfactory Rusted Improper slope Safety hazard Recommend repair/replace

When turned on by thermostat Fired Did not fire Proper operation: Yes No Not tested

System not operated due to N/A Exterior temperature Other: .

Comments Furnace's were in normal working order at the time of the inspection.
 Wall furnaces are installed directly into the wall and vented out through the home in single story homes, and through the ceilings in multiple story homes.
 Wall heaters produce heat through the wall heater and not a ducting system, so they will heat a small space quickly and maintain the heat in the room

Photos



Other systems

N/A

Type Electric baseboard Radiant ceiling cable Gas space heater Solid fuel burning stove

Proper operation Yes No

System condition Satisfactory Marginal Poor Recommend HVAC Technician Examine

Comments

Electric/Cooling System

Main panel

Location Exterior wall

Condition Satisfactory Poor

Adequate Clearance to Panel Yes No

Amperage/Voltage Unknown 60a 100a 150a 200a 400a 120v/240v

Breakers/Fuses Breakers Fuses

Appears grounded Yes No Not Visible

GFCI breaker Yes No Operable: Yes No

AFCI breaker Yes No Operable: Yes No Not Tested

Main wire Copper Aluminum Not Visible Double tapping of the main wire Condition: Satisfactory
 Marginal Poor

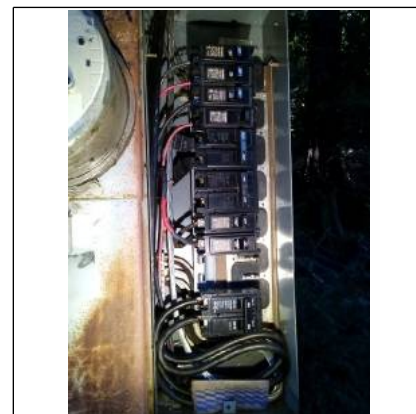
Branch wire Copper Aluminum Solid Branch Aluminum Wiring Not Visible Safety Hazard

Branch wire condition Satisfactory Poor Recommend electrician evaluate/repair Romex BX cable
 Conduit Knob/Tube Double tapping Wires undersized/oversized breaker/fuse
 Panel not accessible Not evaluated

Reason: The panel was fully accessible and a complete assessment was made.

Comments Panel size appeared to be compatible to service size.
Panel appeared in good condition and serviceable.

Photos



Sub panel(s)

None apparent

Location(s) Location 1: On the exterior wall at cabin 9.

Branch wire Copper Aluminum Safety hazard Neutral/ground separated: Yes No Neutral isolated:
 Yes No

Condition Satisfactory Marginal Poor

Comments No signs of overheating were evident at the time of the inspection.
Panel was in satisfactory and serviceable condition.
Recommend labeling breakers, if you have a electrical problem you need to identify the controlling circuit.

Photos

Electric/Cooling System





Moorhouse
Inspection
Services

Home Inspection Report



8705 Highway 9. Front House. Jay's Timberlane Resort., Ben Lomond, CA 95005

Inspection Date:

Sunday November 14, 2021

Prepared For:

Paul Zech

Prepared By:

Donald Moorhouse
2650 Monterey Ave
Soquel, California 95073
(831) 295-3194
reilly2004@sbcglobal.net

Report Number:

8489

Inspector:

Donald Moorhouse

Inspector Signature:

Donald Moorhouse

Report Overview

Scope of Inspection

All components designated for inspection in the ASHI Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

Main Entrance Faces

North
East

State of Occupancy

Occupied
Fully furnished

Weather Conditions

Sunny

Recent Rain

No

Ground Cover

Dry

Approximate Age

60 Years

Report Summary

Items Not Operating

Baseboard heaters at upstairs bedrooms did not respond to testing.

Major Concerns

None apparent

Potential Safety Hazards

Recommend installation of of proper grab rails for safety.

Hose bib(s) not equipped with anti-siphon devices, possible cross connection can occur without anti-siphon device, recommend installing

Recommend GFCI'S be installed on all exterior receptacles.

Safety reverse at garage door was tested and found to be not functioning properly recommend contacting appropriate trades for further evaluation and repair, this is a Safety Concern.

The National Electric Code requires all garage outlets to be GFCI protected.

Firewall between garage and living area not present - Potential Safety Hazard

Firewall between garage and living area not present - Potential Safety Hazard

The NEC requires GFCI protection in kitchens of dwelling units where the receptacles are installed to serve counter top services.

The glass that is used to make incandescent bulbs is very thin. Because of this item is fragile and a slight bump can cause the bulb to break. Recommend fixtures with glass globes.

No smoke detectors or carbon monoxide detector noted at time of inspection, recommend installation.

It is recommended that Carbon Monoxide detectors be installed at all levels of the home.

Open junction boxes were observed in sub area recommend licensed electrician to evaluate and repair.

Temperature-Pressure relief valve extension should be 4"-6" off of the floor - this is a Safety Concern.

Recommend installation of seismic waterheater strapping.

Double tapping of breakers was noted, recommend licensed electrician to evaluate and repair.

Exposed romex recommend licensed electrician to evaluate and repair, romex should be run in a protective conduit. At upstairs bedrooms.

Deferred Cost Items

[Item's that have reached or are reaching their normal life expectancy or show indications that they may require repair or replacement anytime during the next 5 years.](#)

Report Summary

Deferred Cost Items

Wall furnace.

Improvement Items

A seal coat is recommended on driveway to prolong life and enhance the look of the home.

Recommend a washer drain pan be installed. The washer pan will catch any leaks due to washing machine overflow or hose failure, or any drips where the hoses connect to the machine also protects the floor from condensation.

Items To Monitor

Recommend maintaining caulking at base of toilet.

Cellulose debris present, recommend removing.

Recommend installation of pickets at stair railings, the vertical guards that support the handrails must be installed close enough that the space between them is no greater than 4 inches.

It is recommended that trees be planted a minimum of 10 feet from any structure to reduce the chance root intrusion damaging the foundation and large branches damaging the roof.

Hose bib(s) leaking from handle/stem, recommend repair

Recommend keeping valleys clear of debris.

Just like Windows, unwanted accumulation of grime, leaves, dust, dirt mold growth, etc causes irreversible damage to the skylight material and reduces light penetration.

Recommend cleaning skylights.

Gutters were equipped with gutter guards. Although will keep debris out of gutter maintenance is required to keep clear.

Siding had some damage, recommend repairing/replacing damaged sections

Siding in contact with soil recommend keeping a clearance of 6-8" from bottom of siding to soil

Recommend caulking around windows, doors, corners, utility penetrations.

The purpose of a dishwasher high drain loop is to prevent back flow of water. The water can flow back into the dishwasher which will leave water in the bottom of the dishwasher. Recommend the drain line be looped.

Recommend maintaining caulking where the tub and flooring meet to prevent moisture intrusion.

Report Summary

Items To Monitor

Recommend maintaining caulking at base of toilet.

Efflorescence was noted on stem wall. Efflorescence is caused by Vapor migrating through the slab bringing soluble salts to the surface of the concrete. It can be indication of moisture intrusion recommend monitoring during rainy season and contact appropriate trades if necessary.

Posts in sub area not providing adequate support recommend contacting licensed building contractor to evaluate and repair.

Floor joists have some cracking , recommend repairing or replacing

Excessive water pressure recommend licensed plumber to adjust or install pressure regulator. Normal pressure should be between 40 and 80 psi.

Receipt/Invoice

Donald Moorhouse
2650 Monterey Ave
Soquel, California 95073
(831) 295-3194

Date: Nov 14, 2021

Inspected By: Donald Moorhouse

Property Address

**8705 Highway 9. Front House. Jay's Timberlane
Resort.**

Ben Lomond, CA 95005

Inspection Number: 8489

Payment Method: Not Paid

Client: Paul Zech

Inspection	Fee
Home Inspection	\$450.00

Total	\$450.00
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Grounds

Service Walks

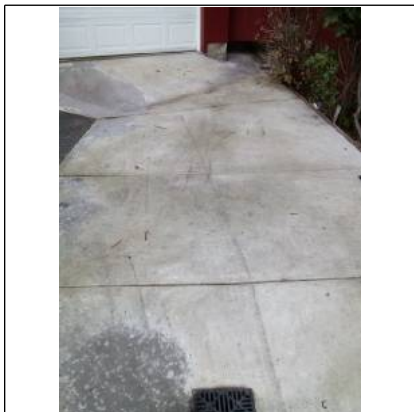
None Not Visible

Material Concrete Flagstone Gravel Brick Other: .

Condition Satisfactory Marginal Poor Trip hazard Typical cracks Pitched towards home
 Settling cracks Public sidewalk needs repair

Comments Service walks appeared in satisfactory condition.

Photos



Driveway/Parking

None Not Visible

Material Concrete Asphalt Gravel/Dirt Brick Other: .

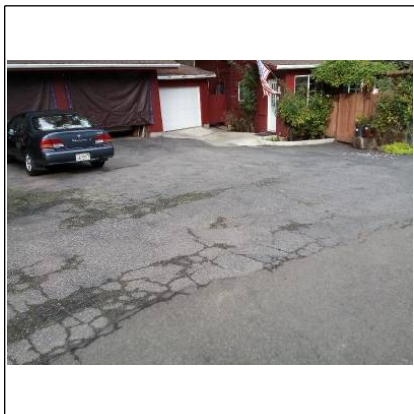
Condition Satisfactory Marginal Poor Settling Cracks Typical cracks Pitched towards home
 Trip hazard Fill cracks and seal

Comments A seal coat is recommended on driveway to prolong life and enhance the look of the home.

Photos



Grounds



Porch

None Not Visible

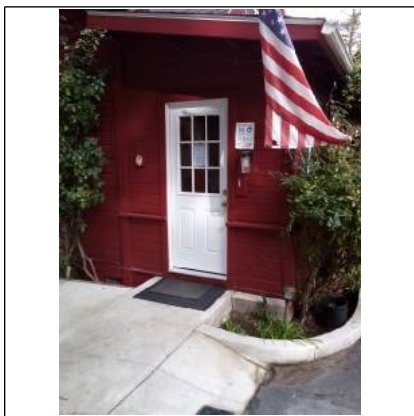
Condition Satisfactory Marginal Poor Railing/Balusters recommended

Support Pier Concrete Wood Other: .

Floor Satisfactory Marginal Poor Safety Hazard

Comments Porch was found to be in satisfactory and serviceable condition at time of inspection.

Photos



Stoops/Steps

None

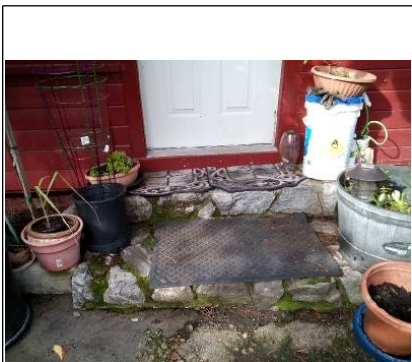
Material Concrete Wood Other: Stones Railing/Balusters recommended

Condition Satisfactory Marginal Poor Safety Hazard Uneven risers Rotted/Damaged
 Cracked Settled

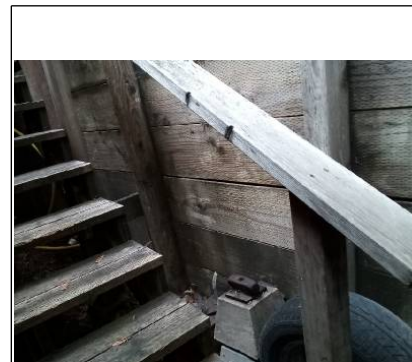
Comments Recommend installation of pickets at stair railings, the vertical guards that support the handrails must be installed close enough that the space between them is no greater than 4 inches.
Recommend installation of of proper grab rails for safety.

Photos

Grounds



Recommend installing pickets and proper grab rails.



Patio

None

Material

Concrete Flagstone Kool-Deck Brick Other: .

Condition

Satisfactory Marginal Poor Settling cracks Trip hazard
 Pitched towards home (see remarks) Drainage provided Typical cracks

Comments

Patio had some cracking and settlement, but was in usable condition.
 Recommend repair

Photos



Patio at rear of house was found to be in satisfactory condition at time of inspection.

Fence/Wall

Not evaluated None

Type

Brick Block Wood Metal Chain Link Rusted Vinyl

Condition

Satisfactory Marginal Poor Typical cracks Loose Blocks/Caps

Gate

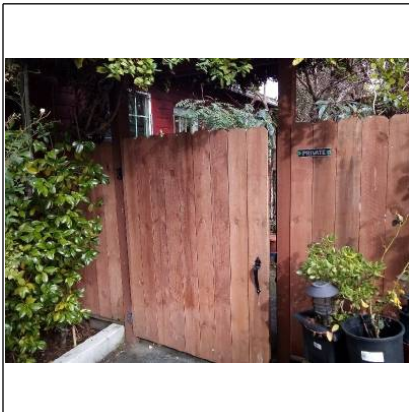
N/A Satisfactory Marginal Poor Planks missing/damaged Operable: Yes No

Comments

The fencing was in overall satisfactory condition.
 Gates were found to be operational and in overall adequate condition.

Photos

Grounds



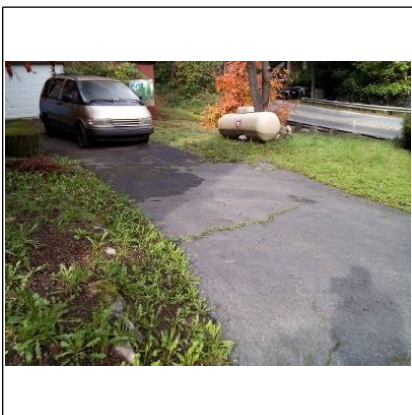
Landscaping affecting foundation

N/A

Negative Grade East West North South Satisfactory Recommend additional backfill
 Recommend window wells/covers Trim back trees/shrubberies
 Wood in contact with/improper clearance to soil

Comments General site drainage was properly sloping away from the house. It is recommended that trees be planted a minimum of 10 feet from any structure to reduce the chance root intrusion damaging the foundation and large branches damaging the roof.

Photos



Retaining wall

None

Material Brick Concrete Concrete block Other: Railroad ties Timbers

Condition Satisfactory Marginal Poor Safety Hazard Leaning/cracked/bowed
 Drainage holes recommended

Comments Retaining wall appeared to be in satisfactory and serviceable condition at time of inspection .

Photos

Grounds



Hose bibs

N/A

Condition Satisfactory Marginal Poor No anti-siphon valve Recommend Anti-siphon valve

Operable Yes No Not Tested Not On

Comments Hose bib(s) not equipped with anti-siphon devices, possible cross connection can occur without anti-siphon device, recommend installing Hose bib(s) leaking from handle/stem, recommend repair

Photos



Hose bib leaking from stem.



Roof

General

Visibility None All Partial Limited By: .

Inspected From Roof Ladder at eaves Ground With Binoculars

Roof was accessible and a complete assessment was made.

Photos



Style of Roof

Type Gable Hip Mansard Shed Flat Other: .

Pitch Low Medium Steep Flat

Roof #1 Type: Asphalt

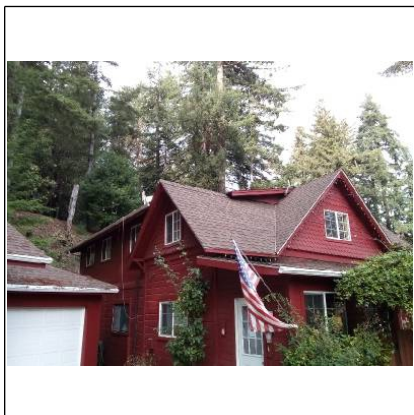
Layers: 1 Layer

Age: 1-5+

Location: Main House

Comments Roof appeared in overall satisfactory and serviceable condition.

Photos



Ventilation System

None N/A

Type Soffit Ridge Gable Roof Turbine Powered Other: .

Comments Ventilation appeared adequate and in good condition.

Photos

Roof



Flashing

Material Not Visible Galv/Alum Asphalt Copper Foam Rubber Lead Other: .

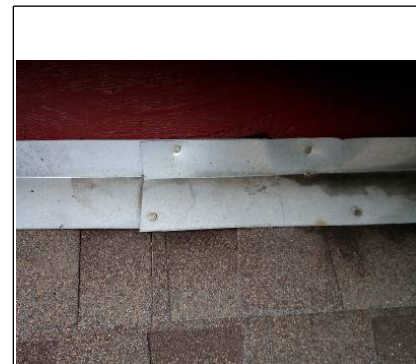
Condition Not Visible Satisfactory Marginal Poor Rusted Missing
 Separated from chimney/roof Recommend Sealing Other: .

Comments Flashing appeared in satisfactory and serviceable condition.

Photos



Flashing pulled away from home
recommend repai



Valleys

N/A

Material Not Visible Galv/Alum Asphalt Lead Copper Other: .

Condition Not Visible Satisfactory Marginal Poor Holes Rusted Recommend Sealing

Comments Recommend keeping valleys clear of debris.

Photos

Roof



Condition of Roof Coverings

- Roof #1** Satisfactory Marginal Poor Curling Cracking Ponding Burn Spots
 Broken/Loose Tiles/Shingles Nail popping Granules missing Alligating Blistering
 Missing Tabs/Shingles/Tiles Moss buildup Exposed felt Cupping
 Incomplete/Improper Nailing Recommend roofer evaluate Evidence of Leakage

Comments Roof coverings appeared overall satisfactory, but will need minor maintenance.

Photos



Moss build up



Loose mismatched shingles.

Skylights

- N/A Not Visible
Condition Cracked/Broken Satisfactory Marginal Poor

Comments Just like Windows, unwanted accumulation of grime, leaves, dust ,dirt mold growth, etc causes irreversible damage to the skylight material and reduces light penetration. Recommend cleaning skylights.

Photos

Roof



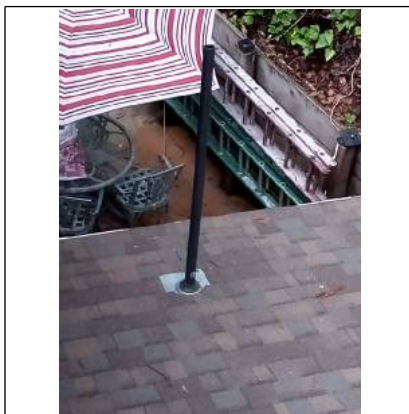
Plumbing Vents

Not Visible Not Present

Condition Satisfactory Marginal Poor

Comments Plumbing vents appeared in satisfactory condition.

Photos



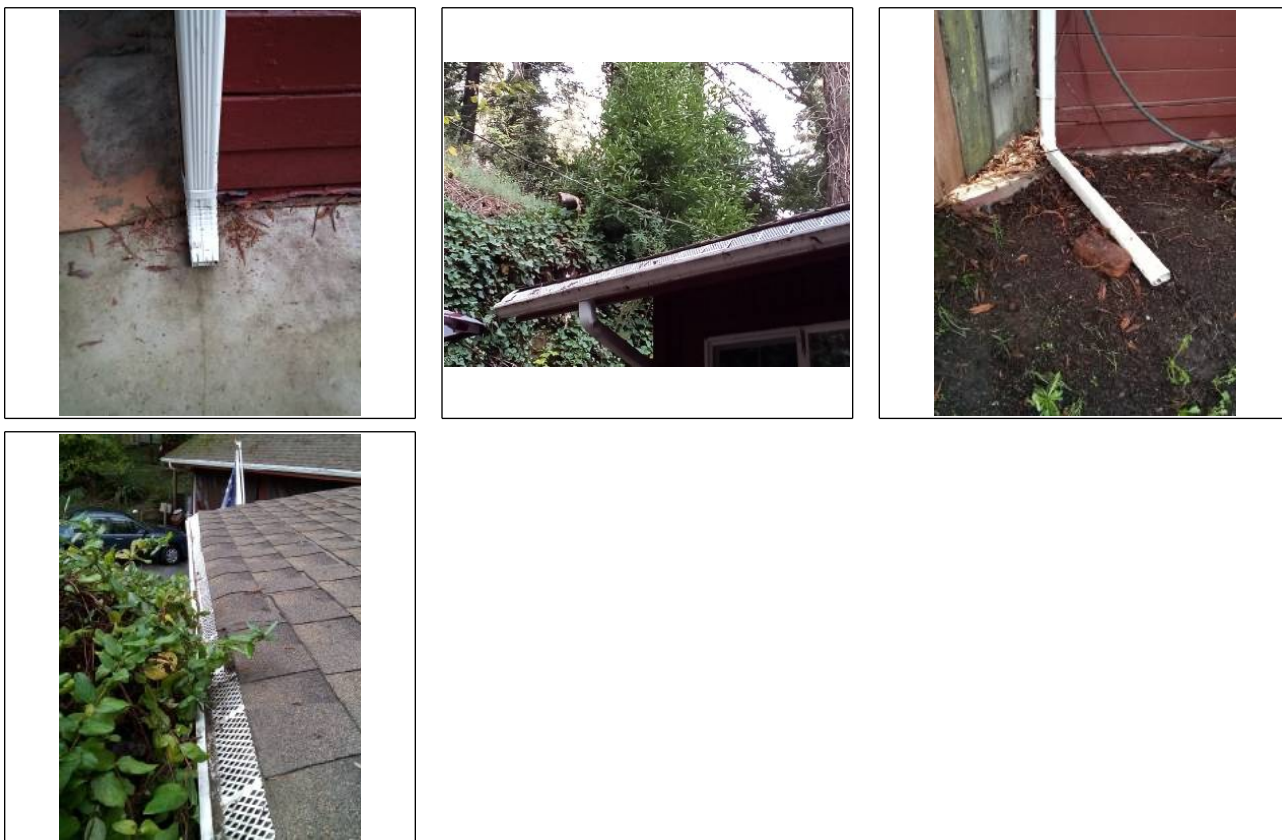
Exterior

Gutters/Scuppers/Eavestrough

- Condition** None Satisfactory Marginal Poor Rusting Downspouts needed Recommend repair/replace
 Needs to be cleaned
- Material** Copper Vinyl/Plastic Galvanized/Aluminum Other: .
- Leaking** Corners Joints Hole in main run No apparent leaks
- Attachment** Loose Missing spikes Improperly sloped Satisfactory
- Extension needed** North South East West N/A

Comments Gutters were incorrectly pitched, recommend repair
 Gutters were equipped with gutter guards. Although will keep debris out of gutter maintenance is required to keep clear.

Photos



Siding

- Material** Stone Slate Block/Brick Fiberboard Fiber-cement Stucco EIFS* Not Inspected
 Asphalt Wood Metal/Vinyl Other: . Typical cracks Peeling paint Monitor Wood rot
 Loose/Missing/Holes
- Condition** Satisfactory Marginal Poor Recommend repair/painting

Comments Siding had some damage, recommend repairing/replacing damaged sections
 Siding in contact with soil recommend keeping a clearance of 6-8" from bottom of siding to soil
 See pest report for further findings.

Photos

Exterior



Recommend removing items from siding to prevent premature aging and deterioration.



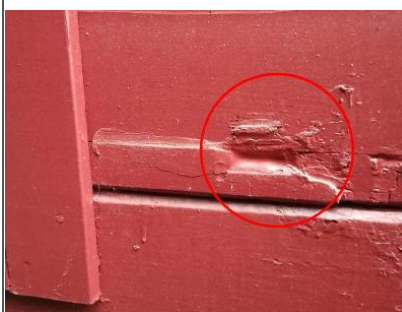
Pest damage.



Ground contact



Ground contact



Trim

Material Wood Fiberboard Aluminum/Steel Vinyl Stucco Recommend repair/painting

Damaged wood Other: .

Condition Satisfactory Marginal Poor

Comments Trim had some deterioration recommend repair and painting

Photos

Exterior



Fascia

None

Material

Wood Fiberboard Aluminum/Steel Vinyl Stucco Recommend repair/painting
 Damaged wood Other: .

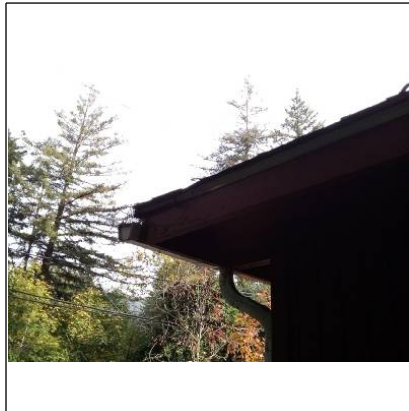
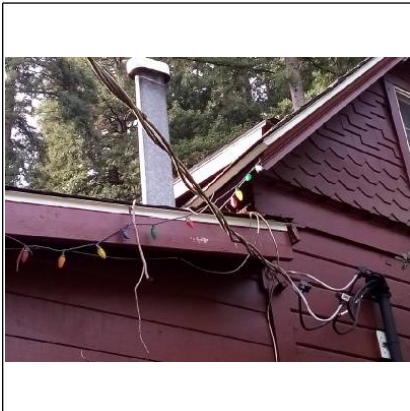
Condition

Satisfactory Marginal Poor

Comments

Facia appeared to be in satisfactory condition.

Photos



Caulking

None

Condition

Satisfactory Marginal Poor

Recommend around windows/doors/masonry ledges/corners/utility penetrations

Comments

Recommend caulking around windows, doors, corners, utility penetrations.

Photos

Exterior



Recommend maintaining caulking at utility penetrations.

Windows/Screens

Condition Satisfactory Marginal Poor Wood rot Recommend repair/painting
 Recommend repair/replace damaged screens Failed/fogged insulated glass

Material Wood Metal Vinyl Aluminum/Vinyl clad

Screens Torn Bent Not installed Satisfactory

Comments Windows and screen's appeared in satisfactory condition.

Photos



Hole in screen at garage window recommend repair.



Exterior



Slab-On-Grade/Foundation

Foundation Wall Concrete block Poured concrete Post-Tensioned concrete Not Visible Other: .

Condition Satisfactory Marginal Monitor Have Evaluated Not Evaluated

Concrete Slab N/A Not Visible Satisfactory Marginal Monitor Have Evaluated

Comments Foundation appeared to be in satisfactory condition.

Photos



Service Entry

Location Underground Overhead

Condition Satisfactory Marginal Poor Weather head/mast needs repair Overhead wires too low

Exterior receptacles Yes No Operable: Yes No Condition: Satisfactory Marginal Poor

GFCI present Yes No Operable: Yes No Safety Hazard Reverse polarity Open ground(s)
 Recommend GFCI Receptacles

Comments Main service appeared in satisfactory and serviceable condition at time of inspection.
Recommend GFCI'S be installed on all exterior receptacles.

Photos

Exterior



Open splice recommend contacting license electrician to evaluate and repair.



Building(s) Exterior Wall Construction

Type Not Visible Framed Masonry Other: .
Condition Not Visible Satisfactory Marginal Poor
Comments Building structure not visible due to siding, not evaluated.

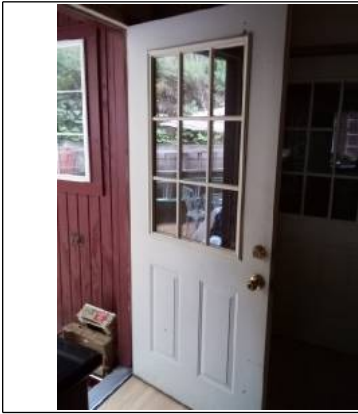
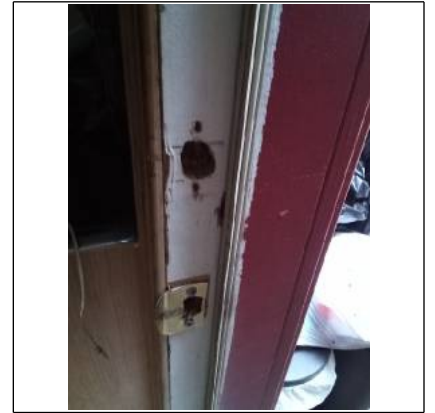
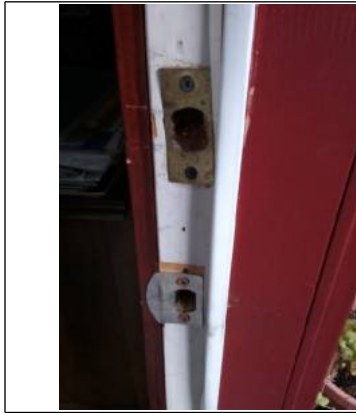
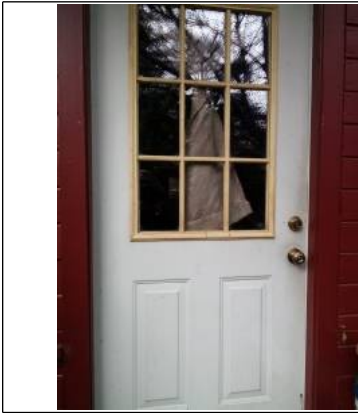
Exterior Doors

Main Entrance N/A Weatherstripping: X Satisfactory Marginal Poor Missing Replace Door condition:
X Satisfactory Marginal Poor
Rear door N/A Weatherstripping: X Satisfactory Marginal Poor Missing Replace Door condition:
X Satisfactory Marginal Poor
Other door N/A Weatherstripping: X Satisfactory Marginal Poor Missing Replace Door condition:
X Satisfactory Marginal Poor

Comments Overall the Doors appeared in satisfactory and serviceable condition.

Photos

Exterior



Garage/Carport

Type

None

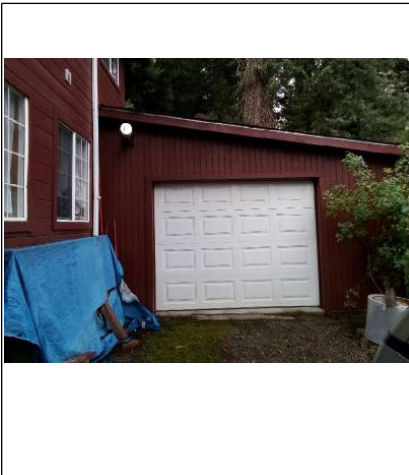
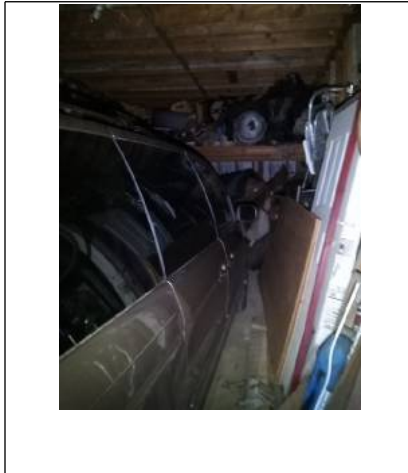
Type Attached Detached 1-Car 2-Car 3-Car 4-Car Carport

Comments Garage was found to be full of owners belongings a limited inspection was conducted.

Photos



Recommend doors be installed at all garage openings.



Automatic Opener

None N/A

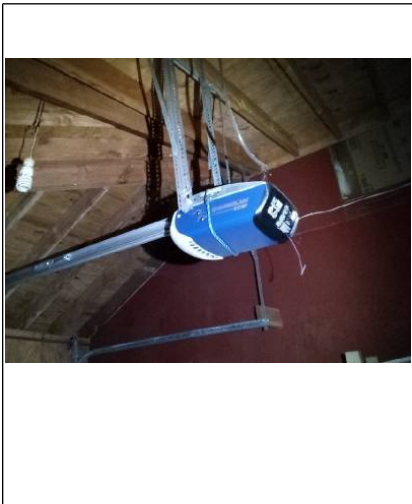
Operation Operable Inoperable

Comments Garage door wall control was tested and found to not be functioning properly recommend repair or replacement.

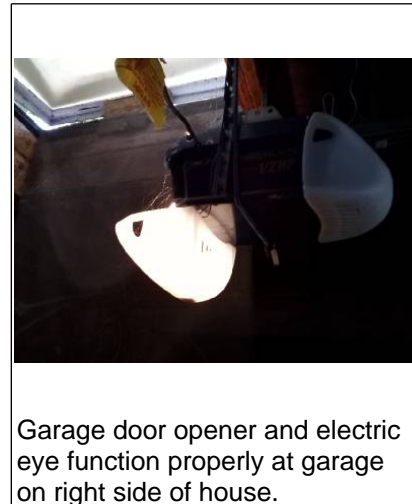
[Handyman wiring recommend designated outlet for opener.](#)

Photos

Garage/Carport



Handyman wiring.



Garage door opener and electric eye function properly at garage on right side of house.

Safety Reverse

None N/A

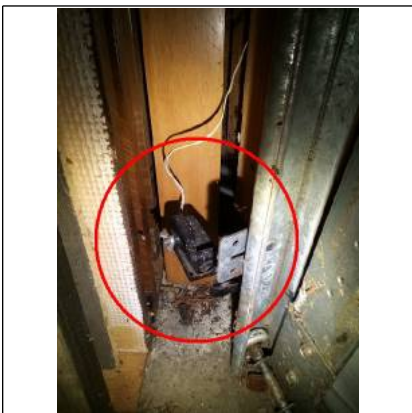
Operation

Operable Not Operable Need(s) adjusting Safety hazard
 Photo eyes and pressure reverse tested

Comments

Safety reverse at garage door was tested and found to be not functioning properly recommend contacting appropriate trades for further evaluation and repair, this is a Safety Concern.

Photos



Roofing

Material

Same as house

Type: Asphalt

Approx. age: 1 to 5 years Approx. layers: 1

Comments

Recommend removing Moss from roof to prevent premature aging.

Photos

Garage/Carport

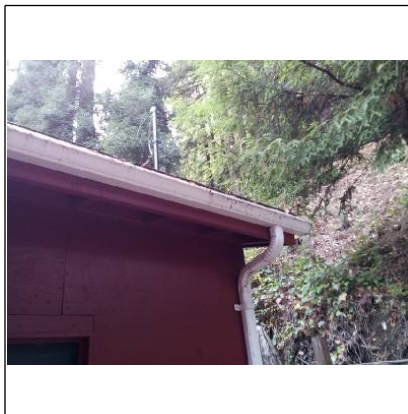


Gutters/Eavestrough

Condition Satisfactory Marginal Poor Same as house

Comments Gutters appeared in satisfactory and serviceable condition.

Photos



Siding

N/A

Material Same as house Wood Metal Vinyl Stucco Masonry Slate Fiberboard

Condition Satisfactory Marginal Poor Recommend repair/replace Recommend painting

Comments It appears standard plywood is being used for siding at garage recommend proper exterior grade siding be installed.

Photos

Garage/Carport



Trim

N/A

Material Same as house Wood Aluminum Vinyl

Condition Satisfactory Marginal Poor Recommend repair/replace Recommend painting

Comments Siding was partially missing recommend repair

Photos



Missing trim

Floor

Material Concrete Gravel Asphalt Dirt Other: .

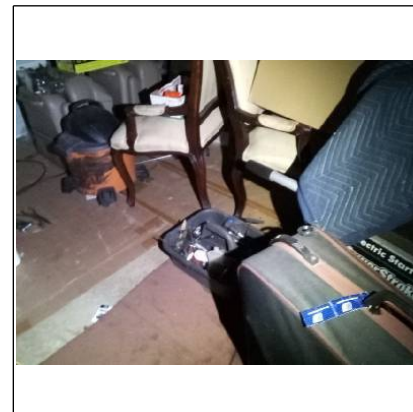
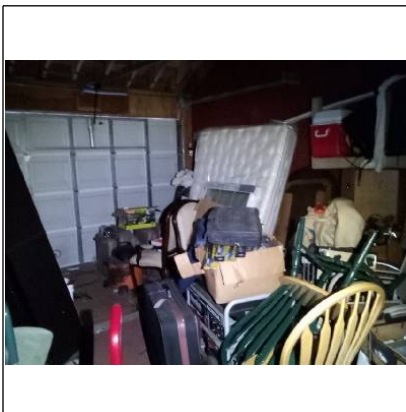
Condition Satisfactory Typical cracks Large settling cracks Recommend evaluation/repair
 Safety hazard

Source of Ignition within 18" of the floor N/A Yes No

Comments Inspection of garage was limited due to owners belongings.

Photos

Garage/Carport



Sill Plates

None Not Visible

Type Floor level Elevated

Comments Sill plates were found to be in satisfactory condition.

Photos



Overhead Door(s)

N/A

Material Wood Fiberglass Masonite Metal Recommend repair

Condition Satisfactory Marginal Poor Hardware loose Safety Cable Recommended
 Weatherstripping missing/damaged Loose/missing

Recommend Priming/Painting Inside & Edges Yes No

Comments Garage door was in normal working order.

Photos

Garage/Carport



Exterior Service Door

None

Condition

Satisfactory Marginal Poor Damaged/Rusted

Comments

Exterior service door in need of repair or replacement.

Photos



Fungus damage noted door jamb recommend repair or replacement.



Missing glass at garage door.

Electrical Receptacles

Yes No Not Visible Operable: Yes No

Reverse polarity

Yes No

Open ground

Yes No Safety Hazard

GFCI Present

Yes No Operable: Yes No Handyman/extension cord wiring
 Recommend GFCI Receptacles

Comments

Extension cord wiring, recommend dedicated outlet(s) be added
The National Electric Code requires all garage outlets to be GFCI protected.

Photos

Garage/Carport



Extension cord wiring.



Extension cord handyman wiring recommend dedicated outlet.

Fire Separation Walls & Ceiling

N/A Present Missing Recommend repair

Condition Satisfactory Recommend repair Holes walls/ceiling Safety hazard(s)

Moisture Stains Present Yes No

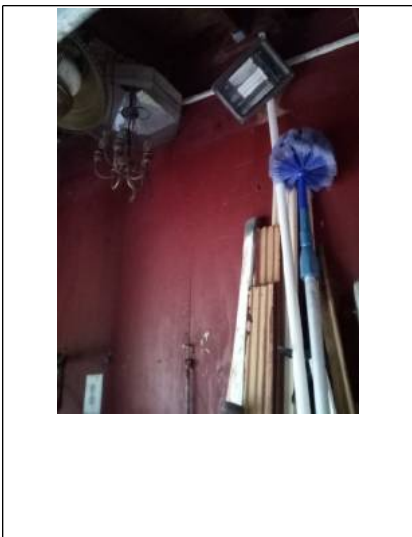
Typical Cracks Yes No

Fire door Not verifiable Not a fire door Needs repair Satisfactory

Self closure N/A Satisfactory Inoperative Missing

Comments Firewall between garage and living area not present - Potential Safety Hazard. Noted at garage on right side of house.

Photos



Recommend 5/8 gypsum board be installed to create fire separation between garage and house.

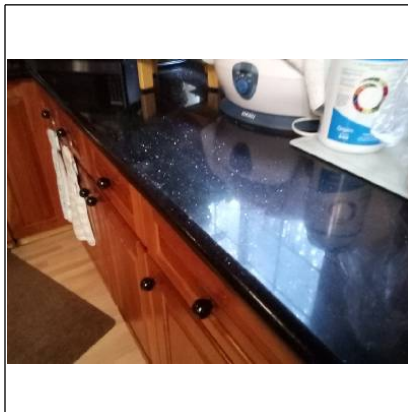
Kitchen

Countertops

Condition Satisfactory Marginal Recommend repair/caulking

Comments Counters were in satisfactory condition at time of inspection.

Photos

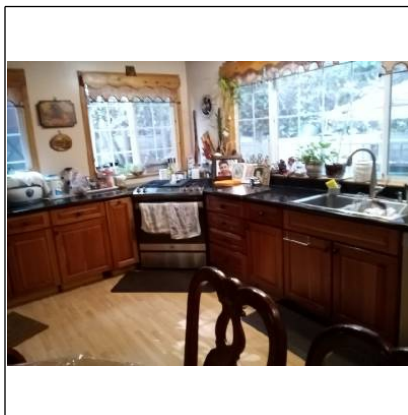


Cabinets

Condition Satisfactory Marginal Recommend repair/adjustment

Comments Cabinets have normal wear.

Photos



Plumbing

Faucet Leaks Yes No

Pipes leak/corroded Yes No

Sink/Faucet Satisfactory Corroded Chipped Cracked Recommend repair

Functional drainage Satisfactory Marginal Poor

Functional flow Satisfactory Marginal Poor

Comments Water flow was normal with several fixtures operated at the same time. Drain lines had no visible leaks or signs of backup at the time of inspection. The purpose of a dishwasher high drain loop is to prevent back flow of water. The water can flow back into the dishwasher which will leave water in the bottom of the dishwasher. Recommend the drain line be looped.

Photos

Kitchen



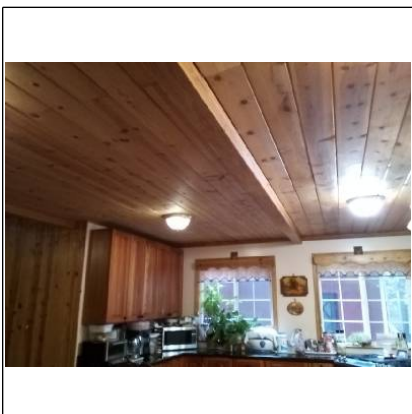
Water temperature kitchen sink.

Walls & Ceiling

Condition Satisfactory Marginal Poor Typical cracks Moisture stains

Comments Walls and ceiling appeared in satisfactory condition at time of inspection.

Photos

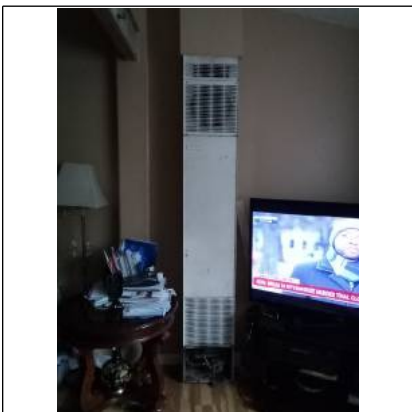


Heating/Cooling Source

Yes No

Comments This area of the home was found to be heated by a centrally located wall heater.

Photos



Kitchen

Floor

Condition Satisfactory Marginal Poor Sloping Squeaks

Comments Floor was in satisfactory condition at time of inspection.

Photos



Appliances

Disposal N/A Not tested Operable: Yes No

Oven N/A Not tested Operable: Yes No

Range N/A Not tested Operable: Yes No

Dishwasher N/A Not tested Operable: Yes No

Exhaust fan N/A Not tested Operable: Yes No

Refrigerator N/A Not tested Operable: Yes No

Microwave N/A Not tested Operable: Yes No

Dishwasher airgap Yes No

Dishwasher drain line looped Yes No

Receptacles present Yes No Operable: Yes No

GFCI Yes No Operable: Yes No Recommend GFCI Receptacles: Yes No

Potential Safety Hazard(s)

Open ground/Reverse polarity: Yes No Potential Safety Hazard

Comments Appliances only tested for operation, working or not. Quality or extent of operation not part of testing or inspection

Dishwasher drain line not looped beneath countertop. Recommend repair
The NEC requires GFCI protection in kitchens of dwelling units where the receptacles are installed to serve counter top services.

Photos

Kitchen



Refrigerator temperature.



Freezer temperature.

Laundry Room

Laundry

Pipes leak Yes No Not Visible

Cross connections Yes No Potential Safety Hazard

Heat source present Yes No

Room vented Yes No

Dryer vented N/A Wall Ceiling Floor Not vented Plastic dryer vent not recommended
 Not vented to exterior Recommend repair Safety hazard

Electrical Open ground/reverse polarity: Yes No Safety hazard

GFCI present Yes No Operable: Yes No Recommend GFCI Receptacles

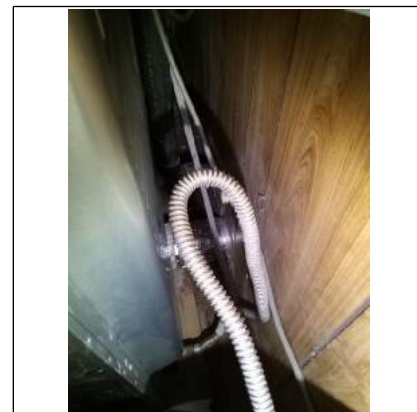
Appliances Washer Dryer Water heater Furnace/Boiler

Washer hook-up lines/valves Satisfactory Leaking Corroded Not Visible

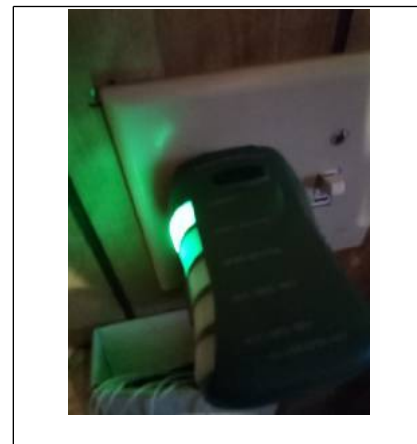
Gas shut-off valve N/A Yes No Cap Needed Safety hazard Not Visible

Comments Recommend a washer drain pan be installed. The washer pan will catch any leaks due to washing machine overflow or hose failure, or any drips where the hoses connect to the machine also protects the floor from condensation. The glass that is used to make incandescent bulbs is very thin. Because of this item is fragile and a slight bump can cause the bulb to break. Recommend fixtures with glass globes.

Photos



Exposed incandescent bulb.



Bathroom (1)

Bath

Location Master bath

Sinks Faucet leaks: Yes No Pipes leak: Yes No

Tubs N/A Faucet leaks: Yes No Pipes leak: Yes No Not Visible

Showers N/A Faucet leaks: Yes No Pipes leak: Yes No Not Visible

Toilet Bowl loose: Yes No Operable: Yes No Cracked bowl Toilet leaks

Shower/Tub area Ceramic/Plastic Fiberglass Masonite Other: Condition: Satisfactory Marginal
 Poor Rotted floors Caulk/Grouting needed: Yes No

Where: Recommend maintaining caulking where the tub and flooring meet to prevent moisture intrusion.

Recommend maintaining caulking at base of toilet.

N/A

Drainage Satisfactory Marginal Poor

Water flow Satisfactory Marginal Poor

Moisture stains present Yes No Walls Ceilings Cabinetry

Doors Satisfactory Marginal Poor

Window None Satisfactory Marginal Poor

Receptacles present Yes No Operable: Yes No

GFCI Yes No Operable: Yes No Recommend GFCI

Open ground/Reverse polarity Yes No Potential Safety Hazard

Heat source present Yes No

Exhaust fan Yes No Operable: Yes No Noisy

Comments Drains show no signs of back-up during time of inspection.
Detected fault at GFCI recommend that a licensed electrician to evaluate.
Low flow shower head noted.
Recommend cleaning grate at exhaust vent to improve overall efficiency.

Photos



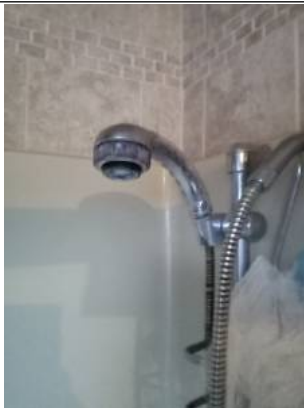
GFCI receptacle did not respond to testing witness recommend license contractor to evaluate and repair.



Non-low toilet noted.



Bathroom (1)



Low flow shower head noted.



Recommend maintaining caulking at base of toilet.



Recommend maintaining caulking at tub and floor junction to prevent moisture intrusion.



Recommend cleaning lint from exhaust grate.

Bathroom (2)

Bath

Location First floor bath

Sinks Faucet leaks: Yes No Pipes leak: Yes No

Tubs N/A Faucet leaks: Yes No Pipes leak: Yes No Not Visible

Showers N/A Faucet leaks: Yes No Pipes leak: Yes No Not Visible

Toilet Bowl loose: Yes No Operable: Yes No Cracked bowl Toilet leaks

Shower/Tub area Ceramic/Plastic Fiberglass Masonite Other: Condition: Satisfactory Marginal
 Poor Rotted floors Caulk/Grouting needed: Yes No

Where: Recommend maintaining caulking at base of toilet.

N/A

Drainage Satisfactory Marginal Poor

Water flow Satisfactory Marginal Poor

Moisture stains present Yes No Walls Ceilings Cabinetry

Doors Satisfactory Marginal Poor

Window None Satisfactory Marginal Poor

Receptacles present Yes No Operable: Yes No

GFCI Yes No Operable: Yes No Recommend GFCI

Open ground/Reverse polarity Yes No Potential Safety Hazard

Heat source present Yes No

Exhaust fan Yes No Operable: Yes No Noisy

Comments Shower diverter not working recommend repair or replacement.

Drains show no signs of back-up during time of inspection.

Low flow toilet noted

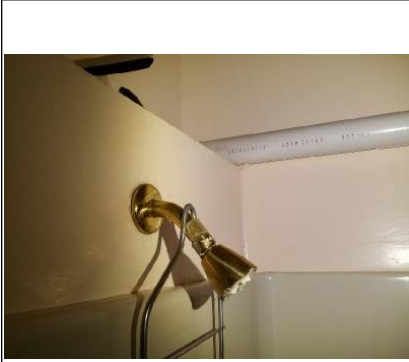
Overall the bathroom appeared in satisfactory condition.

Photos



Missing grate at exhaust vent
recommend replacement.

Bathroom (2)



Recommend maintaining caulking
at base of toilet

Bathroom (3)

Bath

Location Second floor bath

Sinks Faucet leaks: Yes No Pipes leak: Yes No

Showers N/A Faucet leaks: Yes No Pipes leak: Yes No Not Visible

Toilet Bowl loose: Yes No Operable: Yes No Cracked bowl Toilet leaks

Shower/Tub area Ceramic/Plastic Fiberglass Masonite Other: . Condition: Satisfactory Marginal
 Poor Rotted floors Caulk/Grouting needed: Yes No

Where: Recommend maintaining caulking and grout at bathroom prevent moisture intrusion.

N/A

Drainage Satisfactory Marginal Poor

Water flow Satisfactory Marginal Poor

Moisture stains present Yes No Walls Ceilings Cabinetry

Doors Satisfactory Marginal Poor

Window None Satisfactory Marginal Poor

Receptacles present Yes No Operable: Yes No

GFCI Yes No Operable: Yes No Recommend GFCI

Open ground/Reverse polarity Yes No Potential Safety Hazard

Heat source present Yes No

Exhaust fan Yes No Operable: Yes No Noisy

Comments Drains show no signs of back-up during time of inspection.

Low flow toilet noted

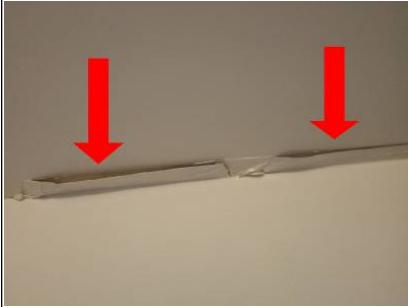
Overall the bathroom appeared in satisfactory condition.

Low flow shower head noted.

Photos



Bathroom (3)



Recommend contacting drywall contractor to further evaluate open seams at ceiling.



Low flow shower head noted.



Recommend maintaining caulking at base of toilet.



Recommend maintaining caulking for flooring shower meet to prevent moisture intrusion.

Room (1)

Room

Location First floor

Type MASTER BEDROOM

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

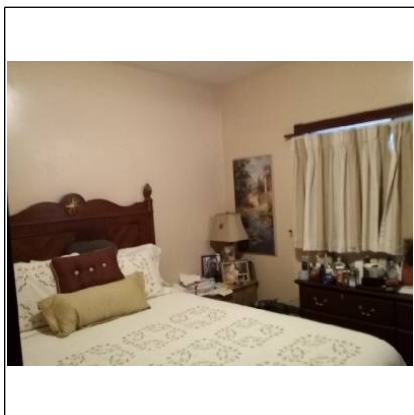
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Room (2)

Room

Location First floor

Type BEDROOM

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
 Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

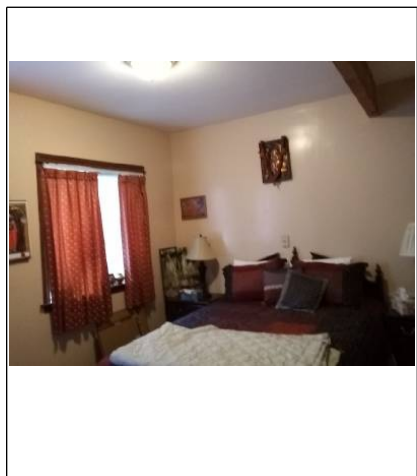
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Cracked outlet cover recommend replacement.

Room (3)

Room

Location Second floor

Type BEDROOM

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Moisture stains observed at ceiling no moisture present at time of inspection.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

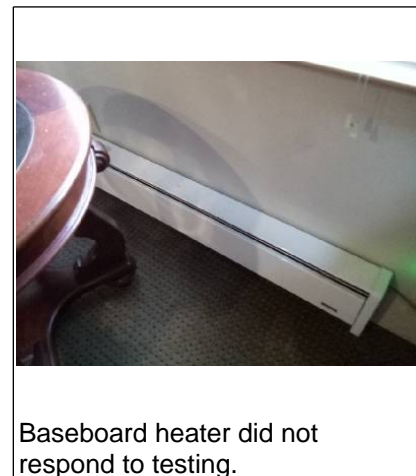
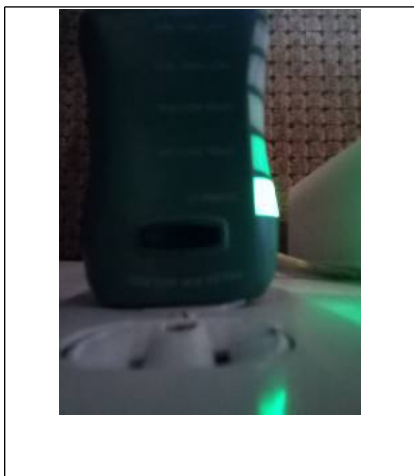
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

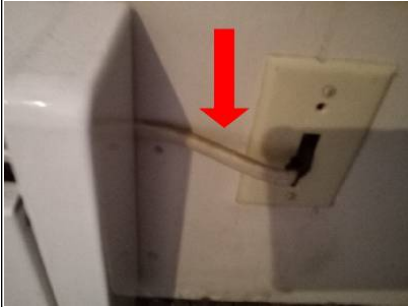
Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Stains on bedroom ceiling.
Overall the room appeared in satisfactory and serviceable condition at time of inspection.
Exposed romex recommend licensed electrician to evaluate and repair, romex should be run in a protective conduit.

Photos



Room (3)



Exposed Romex.



Drywall damage at ceiling recommend contacting appropriate trades for repair.



Moisture stains at skylight.



Damaged drywall ceiling recommend repair.

Room (4)

Room

Location Second floor

Type BEDROOM

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where:

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
 Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Missing outlet cover recommend replacement. This is a Safety Concern.
 Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Trim and drywall missing at closet doors recommended repair and replacements.



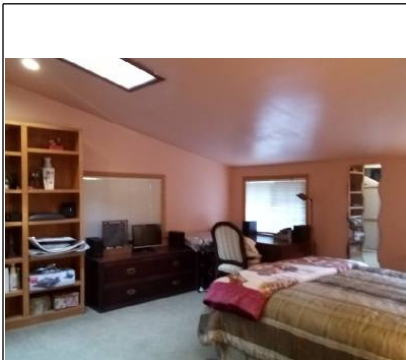
Thermostat present no baseboard heater was discovered in room.



Room (4)



Missing outlet cover recommend replacement.



Room (5)

Room

Location Second floor

Type BEDROOM

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

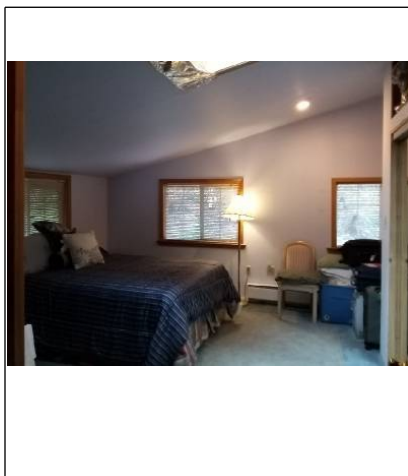
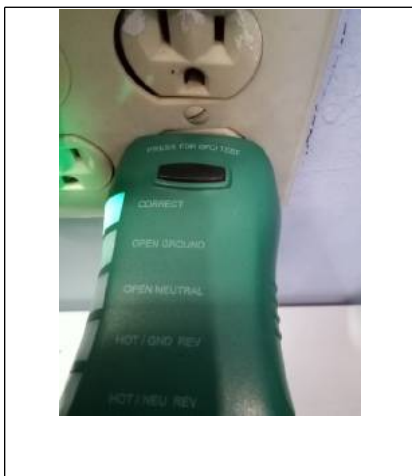
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

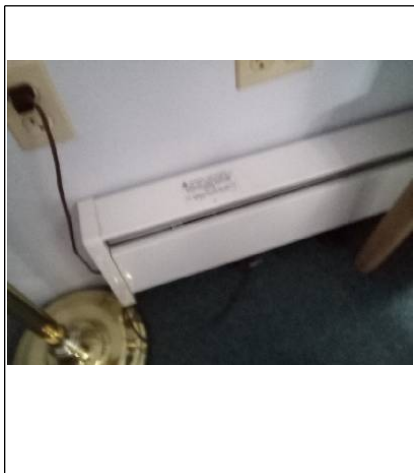
Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Baseboard heater did not respond to testing.

Room (5)



Room (6)

Room

Location Second floor

Type FAMILY ROOM

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

Heating source present Yes No Holes: Doors Walls Ceilings

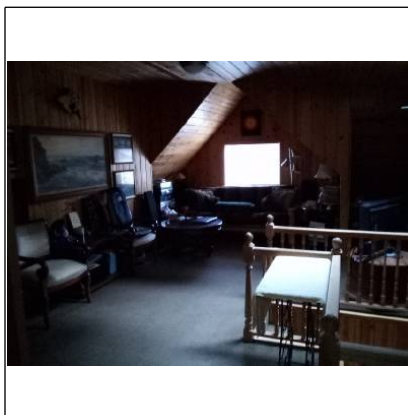
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Interior

Fireplace

None

Location(s) Living room

Type Gas Wood Solid fuel burning stove Electric Ventless

Material Masonry Metal (pre-fabricated) Metal insert Cast Iron

Miscellaneous Blower built-in Operable: Yes No Damper operable: Yes No
 Open joints or cracks in firebrick/panels should be sealed Fireplace doors need repair

Damper modified for gas operation N/A Yes No Damper missing

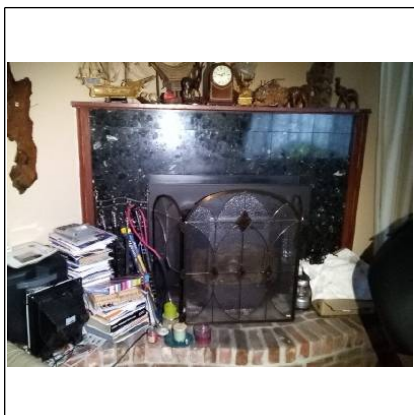
Hearth extension adequate Yes No

Mantel N/A Secure Loose Recommend repair/replace

Physical condition Satisfactory Marginal Poor Recommend having flue cleaned and re-examined
 Not evaluated

Comments Fireplace appears to be in satisfactory and serviceable condition.

Photos



Stairs/Steps/Balconies

None

Condition Satisfactory Marginal Poor Loose/Missing

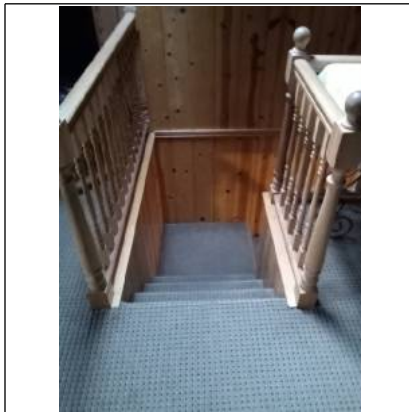
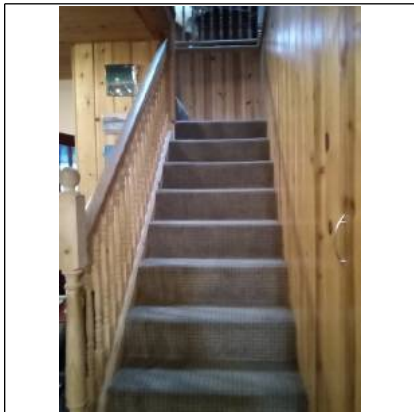
Handrail Satisfactory Marginal Poor Safety hazard Hand Rail/Railing/Balusters recommended

Risers/Treads Satisfactory Marginal Poor Risers/Treads uneven Trip hazard

Comments Found stairs to be in satisfactory condition.

Photos

Interior



Smoke/Carbon Monoxide detectors

Smoke Detector Present Not Present Operable: Yes No Not tested Recommend additional
 Safety Hazard

CO Detector Present Not Present Operable: Yes No Not tested Recommend additional
 Safety Hazard

Comments No smoke detectors or carbon monoxide detector noted at time of inspection, recommend installation.

It is recommended that Carbon Monoxide detectors be installed at all levels of the home.

Photos



Crawl Space

Crawl space

N/A

Type Full crawlspace Combination basement/crawl space/slab

Conditioned (heated/cooled) Yes No

Comments Evidence of vermin in sub area recommend licensed pest inspector evaluate.

Insulation has been pulled down, recommend licensed insulation contractor to replace.

Open junction boxes were observed in sub area recommend licensed electrician to evaluate and repair.

Photos



Open junction box.



Open junction box.



Access

Location Exterior Interior hatch/door Via basement No access

Inspected from Access panel In the crawl space

Comments Found access to sub area to be adequate and unobstructed.

Photos

Crawl Space



Foundation walls

Condition Satisfactory Marginal Have Evaluated Monitor Cracks Movement

Material Concrete block Poured concrete Stone ICF Wood Brick

Comments Foundation walls appeared in satisfactory condition.

Photos



Floor

Material Concrete Gravel Dirt Other: .

Condition Typical cracks Not Visible Vapor barrier present

Comments Cellulose debri present, recommend removing.

Photos

Crawl Space



Recommend removing cellulose debris.



Seismic bolts

N/A None visible

Condition Appear satisfactory Recommed evaluation

Comments Seismic bolts appeared satisfactory for a home of this era.

Photos



Foundation bolt.

Drainage

Sump pump Yes No Operable: Yes No Pump not tested

Standing water Yes No Not Visible

Evidence of moisture damage Yes No

Comments Efflorescence was noted on stem wall. Efflorescence is caused by Vapor migrating through the slab bringing soluble salts to the surface of the concrete. It can be indication of moisture intrusion recommend monitoring during rainy season and contact appropriate trades if necessary.

Photos

Crawl Space



Efflorescence

Ventilation

N/A

Location Wall vents Power vents None apparent

Condition Additional ventilation recommended Evidence of moisture damage

Comments Sub area was found to be well ventilated and in satisfactory condition.

Photos



Girders/Beams/Columns

Material Steel Wood Masonry

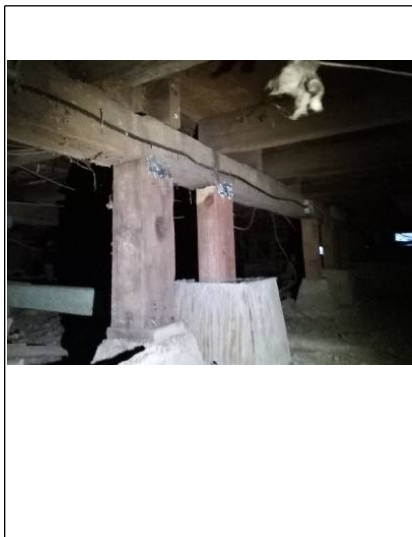
Condition Satisfactory Marginal Poor Not Visible Sagging/Altered

Comments See pest report for further findings.

Posts in sub area not providing adequate support recommend contacting licensed building contractor to evaluate and repair.

Photos

Crawl Space



Retrofitted posts not supported properly recommend contacting license building contractor to evaluate.



Inadequate support and correct Pier recommend contacting license building contractor to evaluate and repair.

Joists

Material Wood Steel Truss Not Visible 2x8 2x10 2x12 Engineered I-Type
 Sagging/Altered joists

Condition Satisfactory Marginal **Poor**

Comments Floor joists have some cracking , recommend repairing or replacing

Photos



Cracked floor joist recommend contacting licensed contractor to evaluate and repair.



Crawl Space

Subfloor

Not Visible

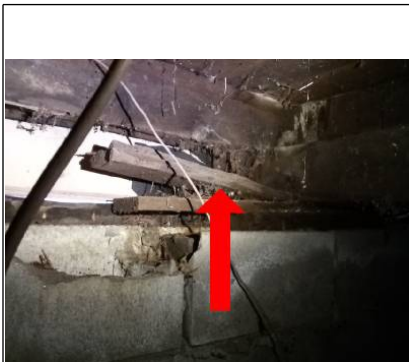
Condition Indication of moisture stains/rotting

Comments Moisture damage noted under bathroom.

Photos



Subfloor repair noted.



Moisture and pest damage.



Moisture stains.

Insulation

None

Type Fiberglass Cellulose Rockwool Foam Not Visible

Location Walls Between floor joists Other: .

Comments Insulation was hanging down in miscellaneous locations recommend contacting appropriate trades for evaluation and repair.

Photos

Crawl Space



Vapor barrier

Present Yes No Not Visible Improperly installed

Material Kraft/foil faced Plastic Not Visible Other: .

Comments No Vapor barrier was noted at time of inspection.

Plumbing

Water service

Main shut-off location On the side exterior wall

Water entry piping Not Visible Copper/Galv. PVC Plastic CPVC Plastic Polybutylene Plastic
 PEX Plastic Lead Polyethylene

Lead other than solder joints Yes No Unknown Service entry

Visible water distribution piping Copper Galvanized PVC Plastic CPVC Plastic Polybutylene Plastic
 PEX Plastic Other: .

Condition Satisfactory Marginal Poor

Flow Satisfactory Marginal Poor Water pressure over 80 psi Recommend plumber evaluate
 Recommend pressure regulator

Pipes Supply/Drain Corroded Leaking Valves broken/missing Dissimilar metal Cross connection: Yes
 No Safety Hazard Recommend repair Recommend a dielectric union Satisfactory

Drain/Waste/Vent pipe Copper Cast iron Galvanized PVC ABS Brass

Condition Satisfactory Marginal Poor

Traps proper P-Type Yes No P-traps recommended

Drainage Satisfactory Marginal Poor

Fuel line N/A Copper Brass Black iron Stainless steel CSST Not Visible Galvanized
 Recommend CSST be properly bonded

Condition N/A Satisfactory Marginal Poor Recommend plumber evaluate

Comments Excessive water pressure recommend licensed plumber to adjust or install pressure regulator. Normal pressure should be between 40 and 80 psi.

Photos



Shut off valve.



Water pressure 105 PSI.

Main fuel shut-off location

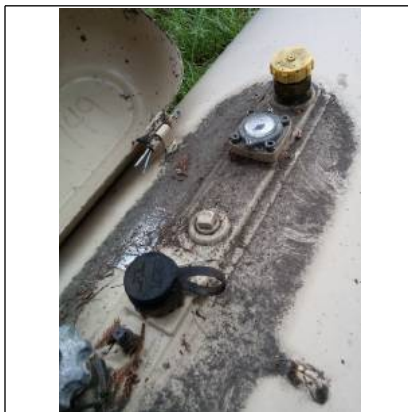
N/A

Location Outside at curbside

Comments Propane tank on exterior of house.

Photos

Plumbing



Water heater #1

N/A

General

Brand Name: **General Electric**

Serial #: GELP0810ZO7302

Capacity: **40 gallons**

Approx. age: **5-10+**

Type

Gas Electric Oil LP Other: .

Combustion air venting present Yes No N/A

Seismic restraints needed Yes No N/A

Relief valve Yes No Extension proper: Yes No Missing Recommend repair
 Improper material

Vent pipe N/A Satisfactory Pitch proper Improper Rusted Recommend repair

Condition Satisfactory Marginal Poor

Comments

Temperature-Pressure relief valve extension should be 4"-6" off of the floor - this is a Safety Concern.

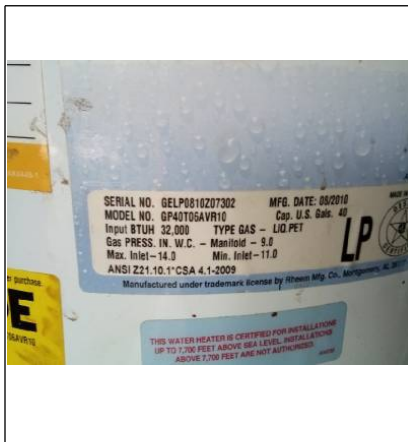
Recommend installation of seismic waterheater strapping.

As a rule a water heater will last 8 to 12 years but with proper maintenance you could double the life.

Photos



Missing seismic strapping.



Plumbing

Water softener

None

Loop installed Yes No

Plumbing hooked up Yes No

Plumbing leaking Yes No

Comments

Heating System

Heating system

- Unit #1** Brand name: Warm morning gas heater.
 Approx. age: 20-25+
 Unknown Model #: Serial #: Satisfactory Marginal Poor
 Recommended HVAC technician examine
- Energy source** Gas LP Oil Electric Solid fuel
- Warm air system** Belt drive Direct drive Gravity Central system Floor/wall furnace
- Heat exchanger** N/A Sealed Not Visible Visual w/mirror Flame distortion Rusted
 Carbon/soot buildup
- Carbon monoxide** N/A Detected at plenum Detected at register Not tested
- Combustion air venting present** N/A Yes No
- Controls** Disconnect: Yes No Normal operating and safety controls observed Gas shut off valve:
 Yes No
- Distribution** Metal duct Insulated flex duct Cold air returns Duct board Asbestos-like wrap
 Safety Hazard
- Flue piping** N/A Satisfactory Rusted Improper slope Safety hazard Recommend repair/replace
- Filter** Standard Electrostatic Satisfactory Needs cleaning/replacement Missing
 Electronic (not tested)
- When turned on by thermostat** Fired Did not fire Proper operation: Yes No Not tested
- System not operated due to** N/A Exterior temperature Other: .

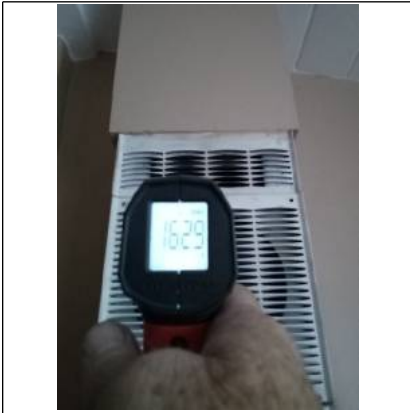
Comments Furnace was in normal working order at the time of the inspection.
 Wall furnaces are installed directly into the wall and vented out through the home in single story homes, and through the ceilings in multiple story homes.
 Wall heaters produce heat through the wall heater and not a ducting system, so they will heat a small space quickly and maintain the heat in the room

Recommend licensed HVAC contractor to further evaluate.

Photos



Heating System



Heat temperature at wall furnace.

Other systems

N/A

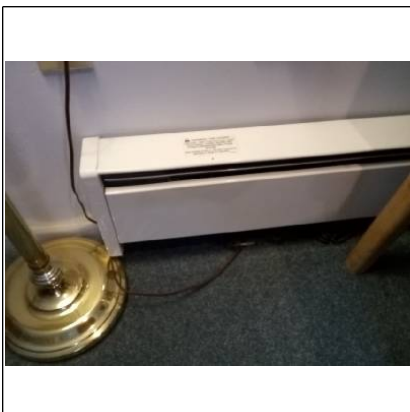
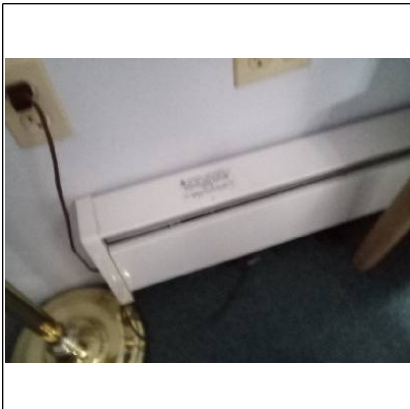
Type Electric baseboard Radiant ceiling cable Gas space heater Solid fuel burning stove

Proper operation Yes No

System condition Satisfactory Marginal Poor Recommend HVAC Technician Examine

Comments Electric baseboard heaters did not respond to testing recommend contacting appropriate trades to further evaluate.

Photos



Electric/Cooling System

Main panel

Location Exterior wall

Condition Satisfactory Poor

Adequate Clearance to Panel Yes No

Amperage/Voltage Unknown 60a 100a 150a 200a 400a 120v/240v

Breakers/Fuses Breakers Fuses

Appears grounded Yes No Not Visible

GFCI breaker Yes No Operable: Yes No

AFCI breaker Yes No Operable: Yes No Not Tested

Main wire Copper Aluminum Not Visible Double tapping of the main wire Condition: Satisfactory
 Marginal Poor

Branch wire Copper Aluminum Solid Branch Aluminum Wiring Not Visible Safety Hazard

Branch wire condition Satisfactory Poor Recommend electrician evaluate/repair Romex BX cable
 Conduit Knob/Tube Double tapping Wires undersized/oversized breaker/fuse
 Panel not accessible Not evaluated

Reason: The panel was fully accessible and a complete assessment was made.

Comments Panel size appeared to be compatible to service size.
Panel appeared in good condition and serviceable.

Photos



Ground rod.

Sub panel(s)

None apparent

Location(s) Location 1: Garages

Location 2: Laundry room

Branch wire Copper Aluminum Safety hazard Neutral/ground separated: Yes No Neutral isolated:
 Yes No

Condition Satisfactory Marginal Poor

Comments No signs of overheating were evident at the time of the inspection.
Double tapping of breakers was noted, recommend licensed electrician to

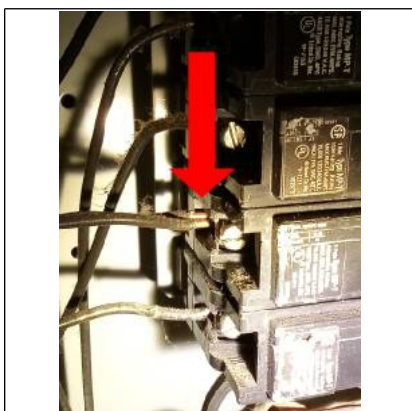
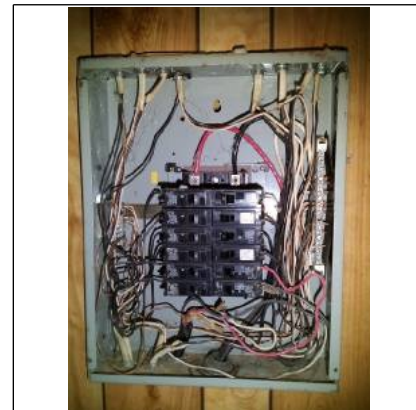
Electric/Cooling System

Sub panel(s) cont.

Comments cont. evaluate and repair.

Screws that hold the panel cover on were found to be missing recommend replacement.

Photos



Double tapping of breaker recommend contacting license electrician to further evaluate and repair.



Missing screws recommend replacement.

Living Room

Living Room

Location First floor

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

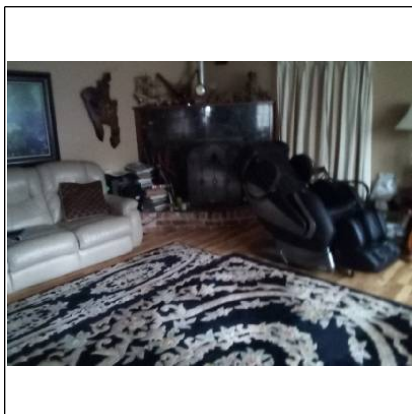
Heating source present Yes No Holes: Doors Walls Ceilings

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Dining Room

Dining Room

Location First floor

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No

Where: Walls and ceiling appeared in satisfactory condition.

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing

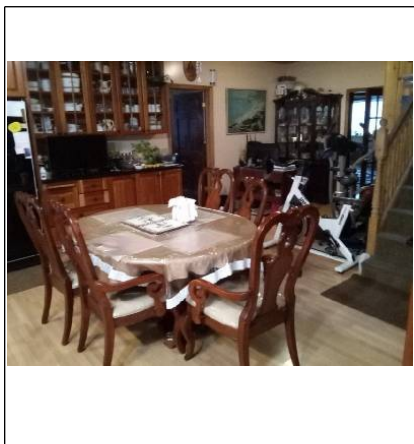
Heating source present Yes No Holes: Doors Walls Ceilings

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments Overall the room appeared in satisfactory and serviceable condition at time of inspection.

Photos



Sloping in floor.

RESIDENTIAL BUILDING RECORD

PARCEL 78-273-3-14.15
 SHEET 1 OF 67 112 SHEETS

DANFORD JANE ROAD ADDRESS UNIT #1 612 HIGHWAY 9. S.

DESCRIPTION OF BUILDING

CLASS & SHAPE		CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF		LIGHTING		AIR CONDITION		ROOM AND FINISH DETAIL								
MOTEL W/K D.E.5B		Light	X Frame	Stucco on	Flat	4 Pitch	Wiring		X Heating	Cooling	ROOMS	FLOORS			FLOOR FINISH		TRIM	INTERIOR FINISH	
ARCHITECTURE		Sub-Standard	X 2" x 4" - 16"		X Gable	1/4 1/4	K.T.	Conduit	Forced	Clean'g		B	I	2	Material	Grade		Walls	Ceilings
TYPE		Standard	Sheathing	Siding "x"	Hip	4	B.X.	X Cable	Gravity	Humid.	All				VINYL-TI	A	OP	PLY	OPEN BEAM
Stories		Above-Standard	Concrete Block		Shed	4	Fixtures		X Wall Unit										
Use Design		Special	B.&B. T.&G.		Cut Up		X Few	Cheap			Ent.Hall								
FOUNDATION		Brick	Brick	Shingle	Dormers		Avg.	X Med.	Floor Unit		Living								
Single		X Concrete	Floor Joist:	X B.&B. T.&G.	X Raft. 4" x 6" 48"		Many	Special	Zone Unit		Dining								
Double		X Reinforced	1st: "x" "		Gutters				Central "		Bed								
Duplex		Brick	2nd: "x" "	Brick							Bed								
Apartment		Wood	Sub-Floor	Stone	X Shake MED				Oil Burner		LIVING	1							
Flat-Court		Piers	X Concrete Floor	WINDOWS		Tile			Sink										
X Motel		X		D.H. X Casement	Tile Trim				Laundry	25 M-B.T.U.									
Units		Light	Heavy	Insulated Walls	X Metal Sash	Compo;	X	Water Htr.-Auto.	Fireplace		Kitchen	1							
				Insulated Ceilings	Screens	Compo.Shingle		Water-Softner			Drain Bd.		Material: TILE	Lgth: 8 Ft.	Splash: 20"				

CONSTRUCTION RECORD				EFFEC. APPR. NORMAL % GOOD				RATING (E,G,A,F,P)								BATH DETAIL													
Permit No.	For	Amount	Date	YEAR	YEAR	Age	Remain'g Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Space	Work-m'nshp	FI.	No.	FINISH		FIXTURES			SHOWER						
																		Floors	Walls	Wc.	La.	Tub	Type	Grade	St.	Q.T.	G.D.	Finish	
7391	MOTEL UNITS		1960	1960	1961	1	54	R55	99	A	A	A	A	A	A	A	1	VINYL-TI	PLY				M	A					FIBREGLAS
					1963	3	52	R55	97	A	A	A	A	A	A	A													
					1965	5	50	R55	95	A	M		A		A														
					1969	9	46	R55	90	B	G		B		A														
					1973	13	42	R55	84	G	C	C	G		A														
					1976	16	40	R55	83	G	A	A	A		A														
																		SPECIAL FEATURES											
																		Book Cases			Built-in Beds			Vacation Blinds					
																		Shutters			FRASE (TOPONAY)			GLASS ENDS IN CORR.					
																					EXHAUST FAN								

Appraiser & Date		1958 INDEX		1961 INDEX		1961 INDEX COMPUTATION		1972 INDEX		1973 INDEX		1974 INDEX		1975 INDEX		1976 INDEX	
Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
MAIN UNIT	344	10.05	3457	9.80	3371			12.73	4379	12.57	4324	18.48	6357				
PORCH (1/4)	102.72	2.50	180	2.45	265			3.12	343	3.14	339	4.62	499				
HEATING	1		100		100				150		150		250				
BT IN RANGE			120		120				140		260		120				
TOTAL			3857		3856		3856		5012		5073		7206				
NORMAL % GOOD			99		99		95		90		24		83				
R.C.L.N.D.			3818		3740		3663		4510		4261		6000				18000

RESIDENTIAL BUILDING RECORD

PARCEL 78-273
SHEET 4 OF 6 SHEETS

APPRISER JAYE

ADDRESS UNIT #4 612 HWY 9 So.

DESCRIPTION OF BUILDING

CLASS & SHAPE		CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOM AND FINISH DETAIL									
ARCHITECTURE		Light	Frame	Stucco on	Flat Pitch	Wiring	Heating	Cooling	ROOMS	FLOORS			FLOOR FINISH		TRIM	INTERIOR FINISH	
Standard		Sub-Standard	2" x 4" - 16"		Gable 1/4 1/4	K.T. Conduit	Forced	Clean'g		B	I	2	Material	Grade		Walls	Ceilings
Motel w/k D 5.5A		Standard	Sheathing	Siding "x"	Hip 1/4	B.X. Cable	Gravity	Humid.	All				VINYL	A	OP	PLY WOOD	OPEN BEAM
Above-Standard		Concrete Block			Shed 1/4	Fixtures	X Wall Unit										
Special		B.&B. T.&G.			Cut Up	Few Cheap			Ent. Hall								
TYPE		Brick		Shingle	Dormers	X Avg. X Med.	Floor Unit		Living								
Use Design		FOUNDATION	Adobe	Shake	X Raft. 4" x 6" 24"	Many Special	Zone Unit		Dining								
Single		Concrete	X Floor Joist:	X B.&B. T.&G.	Gutters		Central "		LIVING								
Double		Reinforced	X 1st: 4" x 8" 16"						Bed		1						
Duplex		Brick	2nd: "x"	Brick	Shingle	PLUMBING			Bed								
Apartment		Wood	X Sub-Floor Joist	Stone	X Shake 1/4		Oil Burner										
Flat-Court		X Piers CONC	Concrete Floor	WINDOWS	Tile	Sink											
Motel				D.H. Casement	Tile Trim	Laundry	25 M-B.T.U.										
WITH KIT			Insulated Ceilings	X Metal Sash	Compo.	X Water Htr.-Auto.	Fireplace		Kitchen		1						
Units		Light Heavy	Insulated Walls	Screens	Compo. Shingle	Water-Softner			Drain Bd.	Material: MICA	Lgth: 8 Ft.	Splash: 28"					

CONSTRUCTION RECORD				EFFEC. APPR. NORMAL % GOOD			RATING (E, G, A, F, P)						BATH DETAIL											
Permit		Amount	Date	YEAR	Age	Remain'g Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Cupbd	Space Closet	Work- minshp	Fl. No.	FINISH		FIXTURES			SHOWER		
No.	For																Floors	Walls	Wc.	La.	Tub	Type	Grade	St.
			1960	1961	1	54	R55	99	A	A	A	A	A	A	A	1	VINYL	PLY	1	1	M	A	1	Metal
				1963	3	52	R55	97	A	A	A	A	A	A	A									
				1965	5	50	R55	95	A	A	A	A	A	A	A									
			1960	1969	9	46	R55	90	G	G	G	G			A									
			1960	1973	13	42	R55	84	G	G	G	G			A									
				1976	16	40	R55	80	G	A	A	A			A									
																	SPECIAL FEATURES							
																	Book Cases	Built-in Beds			Venetian Blinds			
																	Shutters	EXHAUST FAN			GLASS ENDS IN GARDEN (RANGE TOP ONLY)			

1958 INDEX		1958 INDEX		1961 INDEX		COMPUTATION		1961 INDEX		1969 INDEX		1972 INDEX		1975 INDEX			
Appraiser & Date	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
MAIN UNIT	374	9.29	3474	9.94	3725	9.60	3590			12.39	4633	12.23	4592	18.48	6912	22.29	
PORCH 1/4	93	3.09	287	3.32	309	3.20	298			3.08	286	3.05	285	4.62	429	SALE	
HEAT			100		100		100				150		150		250	WIDE	2000
BLT IN RANGE					120		120		A W		140		260		100		
TOTAL		3861		4254		4108		4108		5209		5287		7691			
NORMAL % GOOD		35		99		97		95		90		84		83			
R.C.L.N.D.		1351		4211		3985		3903		4688		4441		6500		2000	

RESIDENTIAL BUILDING RECORD

PARCEL 78-273-3^{X10}
SHEET 5 OF 6 + 12 SHEETS

ADDRESS UNIT #5 612 Hiway 9 So

DESCRIPTION OF BUILDING

CLASS & SHAPE		CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOM AND FINISH DETAIL								
MOTEL W/K D.B.5A		Light Sub-Standard	X Frame 2" x 4" - 16"	Stucco on	Flat Pitch Gable 4/12	Wiring K.T. Conduit	Heating Forced	Cooling Clean'g	ROOMS	FLOORS		FLOOR FINISH		TRIM	INTERIOR FINISH	
ARCHITECTURE		X Standard	Sheathing	Siding "x"	Hip 4/12	X B.X. Cable	Gravity	Humid.	All	X	VINYL-TLA	OP	PLYWOOD	OPEN-BC		
Stories		Above-Standard	Concrete Block		Shed 4/12	Fixtures	X Wall Unit									
TYPE		Special	B.&B. T.&G.		Cut Up	Few Cheap			Ent.Hall							
Use Design		FOUNDATION	Brick	Shingle	Dormers	X Avg. X Med.	Floor Unit		Living							
Single		Concrete	X Floor Joist:	X B.&B. T.&G.	Raft. 4"x6" 24"	Many Special	Zone Unit		Dining							
Double		Reinforced	X 1st: 4"x6" 48"		Gutters		Central"		LIVING	1						
Duplex		Brick	2nd: "x" 48"	Brick					Bed	1						
Apartment		Wood	X Sub-Floor 2" TG	Stone	X Shake		Oil Burner		Bed							
Flat-Court		X Piers CONG	Concrete Floor	WINDOWS		Tile	Sink									
X Motel				D.H. X Casement	Tile Trim	Laundry	25M-B.T.U.									
WITH KIT			Insulated Ceilings	X Metal Sash ALUM	Compo;	X Water Htr.-Auto.	Fireplace		Kitchen	1						
Units		Light Heavy	Insulated Walls	Screens	Compo.Shingle	Water-Softner			Drain Bd.		Material: TILE	Lgth: 8 Ft.	Splash: 20"			

CONSTRUCTION RECORD				EFFEC. APPR. NORMAL % GOOD				RATING (E, G, A, F, P)								BATH DETAIL									
Permit		Amount	Date	YEAR	YEAR	Age	Remain'g Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Cupbd	Space Closet	Work- m'ns'p	Fl. No.	FINISH		FIXTURES			SHOWER		
No.	For																	Floors	Walls	Wc. La.	Tub	Type	Grade	St. Q.T.G.D.	Finish
			1960		1961	1	54	R55	99	A	A	A	A	A	A	A	1	VINYL	PLY	1	1	M	A	1	metal
					1963	3	52	R57	97	A	A	A	A	R	R	A									
					1965	5	50	R55	95	A	A	A	A			A									
					1969	9	46	R55	90	G	G		G			A									
					1970	13	42	R55	84																
					1976	16	40	R55	83	G	A	A	A			A									
																		SPECIAL FEATURES							
																		Book Cases		Built-in Beds					Venetian Blinds
																		Shutters		EXHAUST FAN					GLASS ENDS IN GALL

Appraiser & Date		1958 INDEX		1958 INDEX		1961 INDEX		1961 INDEX		1969 INDEX		1972 INDEX		1975 INDEX		1975 INDEX	
Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
MAIN UNIT	374	9.29	3474	9.96	3725	9.60	3590			12.39	4633	12.48	4667	18.48	6912		
POORCH	93	3.09	287	3.32	309	3.20	298			3.08	286	3.12	290	4.62	429		
HEAT			100		100		100				150		150		250		
PT IN RANGE					120		120				140		260		100		
TOTAL			3861		4254		4108		4108		5209		5369		7691		
NORMAL % GOOD			45		99		97		95		90		84		83		
R.C.L.N.D			1737.		4211		3985		3903		4688		4509		6500		20,000

RESIDENTIAL BUILDING RECORD

PARCEL 78-273-3 X 15
SHEET 6 OF 12 SHEETS

DAMPNER JAYE

ADDRESS OFFICE RES 612 Highway 9 So

DESCRIPTION OF BUILDING

CLASS & SHAPE		CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOM AND FINISH DETAIL								
D.S.5 A	X	Light	X Frame Box	Stucco on	Flat Pitch	Wiring	X Heating	Cooling	ROOMS	FLOORS		FLOOR FINISH		TRIM	INTERIOR FINISH	
		Sub-Standard	"x" - "		X Gable 3/4 1/2	X K.T. Conduit	Forced	Clean'g		B	I	2	Material		Grade	Walls
ARCHITECTURE		Standard	Sheathing	X Siding "x"	Hip 1/4	B.X. Cable	Gravity	Humid.	All	X		LINO	A	OP	W.B. PAPER	T AND G
CONV.		Above-Standard	Concrete Block	X V. RUSTIC	X Shed 3/4 1/2	Fixtures		Wall Unit								
1 1/2 Stories		Special	B.&B. T.&G.		Cut Up	Few Cheap	X ELECT (2)	Ent. Hall								
TYPE			Brick	Shingle	Dormers	X Avg. X Med.	Floor Unit	Living								
Use	Design	FOUNDATION	Adobe	Shake	Raft. "x" - "	Many Special	Zone Unit	Dining							PANEL	FB
X Single	X	X Concrete Floor	X Floor Joist:	B.&B. T.&G.	X Gutters		Central	Bed								
Double		Reinforced	X 1st. 2" x 4" "3"			PLUMBING		Bed								
Duplex		Brick	2nd. "x" - "	Brick	Shingle	Poor X Std. Spec		Bed			2			WOOD PAPER	WOOD PAPER	
Apartment		Wood	Sub-Floor	Stone	Shake		Oil Burner	LAUNDRY								
Flat-Court	X	Piers CONC	Concrete Floor	WINDOWS		X Sink										
Motel				X D.H. X Casement	Tile Trim	Laundry	M-B.T.U.									
			Insulated Ceilings	Metal Sash	X Compo. ROLL	X Water Htr.-Auto.	X Fireplace 350	Kitchen				W W			PLY V. PAPER	FB
Units	Light	Heavy	Insulated Walls	Screens	X Compo. Shingle	Water-Softner		Drain Bd.	Material: ASPHALT	Unit	Lqth: 6 Ft.	Splash: 4"				

CONSTRUCTION RECORD				EFFEC. APPR. NORMAL % GOOD				RATING (E, G, A, F, P)						BATH DETAIL																	
Permit No.	For	Amount	Date	YEAR	YEAR	Age	Remaining Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Cupbd	Space Closet	Work-manship	FI. No.	FINISH		FIXTURES			SHOWER								
																		Floors	Walls	Wc.	La.	Tub	Type	Grade	St.	Q.T.	G.D.	Finish			
				1961		2 1/2	16	R55	45	A	A	F	A	A	F	A	1	3	7 1/2	PL	7 1/2	1	1	M	A	1		4" T. B.			
				1963		18	15	RIT	43	A-F	A	F	A	A	F	A															
				1963		50	14	R55	41	A	A		A			A															
				1942	1970	28	22	R55	20																						
				1942	1973	31	26	R55	57	A	A	F	A			A															
				1946	1976	30	30	R60	64	A	A	F	A	F	F	X															

1958 INDEX				1961 INDEX		1961 INDEX COMPUTATION				1969 INDEX		1972 INDEX		1975 INDEX			
Appraiser & Date				BFC 8-25-60		BOC 2-20-63		D. Yrs. 3-18-65		BL 8-17-70		RL 2-12-73		3-3-76			
Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
MAIN UNIT	1534	5.40	5530	5.50	5632	8.44	8642	10.60	10854	13.39	20540	2.22	94				
OFFICE	154	1.80	403	1.83	282	2.79	429	4.50	539	4.45	685	SALE					
SECOND FLOOR	504	1.80	907	2.75	1386	4.22	2126	5.30	2671	10-M-UNIT							
FIREPLACE			350		350		450		450		1000						
WEP 3/4	70			4.13	289	6.33	443	7.25	556	1N-M UNIT							
HEAT											500						
											22275						
											L.M. x 1.20						
TOTAL			7190		7938		7938		12090		15070		26730				
NORMAL % GOOD			45		43		41		60		57		64				
R.C.L.N.D			3236		3413		3255	*	7254		8590		17000				21500

MISCELLANEOUS BUILDING RECORD

PARCEL 78-273-57
SHEET 7 OF 12 SHEETS

ADDRESS Dampier

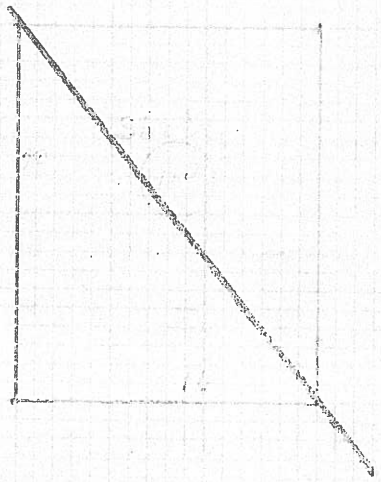
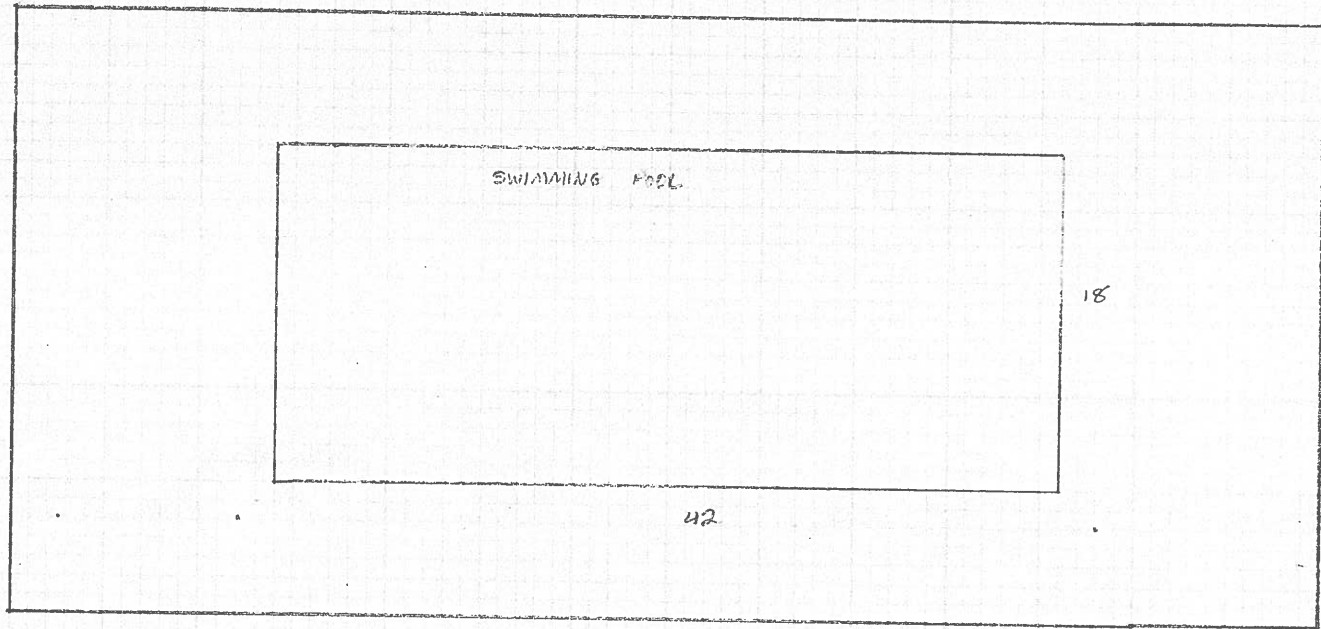
DESCRIPTION OF BUILDINGS

Bldg. No.	Structure	Size	Found.	Wall & Exterior	Roof		Floor & Interior Detail	Second Story or Loft	Year Built	Est. To Life Yr
					Type	Cover				
1	SHED	12x18	MS	B	CONC	SHAKE	CONC	22-60 BFC		
2	GAR	20x20		F.R.B		Comp	Has been moved and Replaced			
3	SWIMMING POOL "ATLAS"	12X18	CALCITE	UNDERWATER LIGHT; SPRINGBOARD;	CHROME LADDER FILTER		CONC STEPS; 6" TILE; CONTRACT PRICE 2.5m. 370 HEAT	4100	1960	R 30
4	CONCRETE AROUND POOL	1228 SQ FT							1960	R 50
5	3' GRAPE STAKE FENCING	189 LINEAL FT		SURROUNDS POOL					1960	R 30
6	MACADAM DRIVEWAY	690 LINEAL FT		15 FT WIDE					1960	R 20
7	FILTER SHED	13 x 6	CONC	2X4-16 - B&B	GAB	SHAKE	CONC UNF (REST. HIGHT)		1960	R 5
8	SIGN	2x10 STONE BASE		6X12' BD PANNEL-	4X15'	GAB / SHAKE ROOF			1960	R 5

1950 INDEX COMPUTATION

Appraiser - Date		1950 INDEX								1956 INDEX								1958 INDEX			
Bldg. No.	Area	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost	% Good	R. C. N. L. N. D.				
1	320	110	357.	40	141.	200	640	70	128												
2	400					200	800	70	160					2.00	800	50	400				
Total			357.		141.		1440		288		1555		311		800		400				

Appraiser - Date		1958 INDEX								1961 INDEX				1963 INDEX				1964 INDEX				1969 INDEX			
Bldg. No.	Area	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost	% Good	R. C. N. L. N. D.	Unit Cost	Cost	% Good	R. C. N. L. N. D.				
3	756	550	4158	100	4158	5.75	4347	89	3869		4347	82	3564	6.00	4536	67	3039								
4	1228	.35	430	100	430	.38	467	95	444		467	92	429	.50	614	90	552								
5	189	.91	172	100	172	1.33	251	89	223		251	82	206				N.C.								
6	10350	.15	1553	100	1553	.15	1553	81	1258		1553	69	1071	.25	2587	55	1423								
7	78									2.50	195	92	179	3.00	234	90	210								
8	-										200	92	184		250	90	225								
Total			6313		6313		6618		5794				5633				5449								



RESIDENTIAL BUILDING RECORD UNIT # 6

JANE HARRY A.

ADDRESS 612 Highway 7 South

PARCEL 78-273-1415
SHEET 8 OF 12 SHEETS

DESCRIPTION OF BUILDING

CLASS & SHAPE		CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOM AND FINISH DETAIL							
Motel Annex Dess A		Light Sub-Standard	Frame 2" x 4" 7/8"	Stucco on	Flat Pitch	Wiring K.T. Conduit	Heating Forced Clean'g	COOLING	ROOMS	FLOORS B I 2	FLOOR FINISH Material Grade	TRIM	INTERIOR FINISH Walls Ceilings		
ARCHITECTURE		Standard	Sheathing	Siding "x"	Hip 4	B.X. Cable	Gravity Humid.		All		Viny Asb A	OP	PIY	SP BM	
1 Stories		Above-Standard	Concrete Block		Shed 4	Fixtures	Wall Unit								
TYPE		Special	B.&B. T.&G.		Cut Up	Few Cheap			Ent. Hall						
Use Design		FOUNDATION	Brick	Shingle	Dormers	Avg. Med.	Floor Unit		Living						
Single		Concrete	Adobe	Shake	Raft. 4"x 6" 49"	Many Special	Zone Unit		Dining						
Double		Reinforced	Floor Joist:	B.&B. T.&G.	Gutters		Central		Bed						
Duplex		Brick	1st: 4"x 6" 49"						Bed						
Apartment		Wood	2nd: "x" "	Brick	Shingle	PLUMBING			Bed						
Flat-Court		Piers	Sub-Floor 2"	Stone	Shake Med	Poor Std. Spec	Oil Burner		Living						
X Motel			Concrete Floor	WINDOWS	Tile	X Sink									
			Insulated Ceilings	D.H. Casement	Tile Trim	Laundry	3 M-B.T.U.								
Units		Light Heavy	Insulated Walls	X Metal Sash	Compo.;	X Water Htr.-Auto.	Fireplace		Kitchen						
			X Screens	Compo. Shingle	Water-Softner				Drain Bd.	Material: Tile	Lqth: 8 Ft.	Splash: 14"			

CONSTRUCTION RECORD				EFFEC. APPR. NORMAL % GOOD			RATING (E, G, A, F, P)						BATH DETAIL															
Permit		Amount	Date	YEAR	YEAR	Age	Remain'g Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Cupbd	Space Closet	Work-m'ns'hp	FI. No.	FINISH		FIXTURES			SHOWER					
No.	For																	Floors	Walls	Wc.	La.	Tub	Type	Grade	St.	Q.T.	G.D.	Finish
11763	5 Cabins	152102	2-5-62	1963	1963	0	55	R55	100	A	A	A	A	A	A	A	1/1	Vin Asb	PIY	1/1	M	A	A	1				Fiberglass
					1965	2	53	R55	98	A	A		A			A												
					1969	6	49	R55	94	G	G		G			A												
				1963	1973	10	45	R55	88	G	G	G	G			A												
					1976	13	42	R55	84	G	A	It	A			A												
																		SPECIAL FEATURES										
																		Book Cases	Built-in Beds			Venetian Blinds						
																		Shutters	Curtain Rods			Curtain Rods						

1961 INDEX				1961 INDEX				1969 INDEX				COMPUTATION				1972 INDEX				1975 INDEX			
Appraiser & Date		Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost			
SOL 2-20-63		344	9.80	3371	3.18	1085	3.18	1085	12.73	4379	12.57	4324	18.48	6357	12.73	4379	12.57	4324	18.48	6357			
Q-C.P. (4)		108	2.45	265	3.18	343	3.18	343	3.18	343	3.18	343	4.62	499	3.18	343	3.18	343	4.62	499			
HEAT				100		150		150		150		150		250		250		250		250			
RANGE				120		140		140		140		260		100		100		100		100			
TOTAL			3856			3856		5012		5073		7206											
NORMAL % GOOD			100			98		94		88		84											
R.C.L.N.D			3856			3779		4711		4464		6000		18000									

RESIDENTIAL BUILDING RECORD UNIT #10

JAYE, HARRY A.

ADDRESS 612 Highway 9, South

PARCEL 78-273-415

SHEET 11 OF 12 SHEETS

DESCRIPTION OF BUILDING

CLASS & SHAPE	CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION				ROOM AND FINISH DETAIL						
						Heating	Cooling	ROOMS	FLOORS			FLOOR FINISH		TRIM	INTERIOR FINISH	
ARCHITECTURE	Standard	Sheathing	Siding "x"	Hip	B.X.	Cable	Gravity	Humid.	All	B	I	2	Material		Grade	Walls
Metal w/fin D.S.S.A	Light Sub-Standard	Frame 2" x 4" - 16"	Stucco on	Flat Pitch	Wiring	Wiring	X Heating	Cooling								
	Standard	Concrete Block		Shed	Fixtures	X Wall Unit							VIN TI		PLY	OP BM
1 Stories	Special	B.&B. T.&G.		Cut Up	Few Cheap				Ent. Hall							
Use Design	FOUNDATION	Adobe	Shingle	Dormers	Avg. Med.	Floor Unit			Living	1						
Single	Concrete	Floor Joist: X B.&B. T.&G.	Shake	Raft 4" x 6" 4"	Many Special	Zone Unit			Dining							
Double	Reinforced	1st: 4" x 6" 4"	Brick	Shingle	PLUMBING	Oil Burner			Bed	2						
Duplex	Brick	2nd: "x" - "	Stone	Shake M	Pool X Sd. Spec				Bed							
Apartment	Wood	Sub-Floor 2"	Concrete Floor	Tile	X Sink											
Flat-Court	X Piers	Concrete Floor	WINDOWS	D.H. X Casement	Tile Trim	Laundry		M-B.T.U.								
X Motel		Insulated Ceilings	X Metal Sash	Compo.	X Water Htr.-Auto.	X Fireplace	MTL		Kitchen	1			VIN TI		HND PER FIN	
Units	Light Heavy	Insulated Walls	Screens	Compo. Shingle	Water-Softner				Drain Bd.				Material: CV MICA	Lqth: Ft.	Splash:	

CONSTRUCTION RECORD				EFFEC. APPR. NORMAL % GOOD				RATING (E, G, A, F, P)						BATH DETAIL															
Permit No.	For	Amount	Date	YEAR	YEAR	Age	Remain'g Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Cupbd	Space Closet	Work-m'nsbp	FI. No.	FINISH		FIXTURES			SHOWER						
						PARIAL 50												FLOORS		Wc. La. Tub		Type		Grade		St. Q.T.G.D. Finish			
11762	Comb.	152100	2-5-62	1963	1963	1	54	R-55	79	G	G	G	G	G	A	A	1	VIN TI	4	1	1	1	1	1	1	1	1	1	1
				1964	1965																								
				1969	1969	5	50	R-55	95	G	G	G	G			A													
				1973	1973	9	46	R-55	90	G	G	G	G			A													
				1976	1976	12	43	R-55	85	G	A	A	A			A													

Appraiser & Date	1961 INDEX				1969 INDEX COMPUTATION				1975 INDEX				SPECIAL FEATURES			
	Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
600 2-20-63	626	917	5612	917	5612	10.98	6719	1149	7025	18.48	11568	22294				
W-CPI X 1/4	108	306	330	306	330	2.75	275	287	310	4.62	499	SALE				
HEAT	612				300		300	50	300	1.00	612	ALOC = 30000				
B.W.					120		140		260		100					
C-RATIO	225			1.00	225	1.00	225	1.00	225	1.50	338					
C-STEPS	40			1.50	60	1.50	60	2.00	80	4.25	170					
F.P.											750					
TOTAL		5942			6647		7719		7877		14037					
NORMAL % GOOD		PARIAL 50			99		95		90		85					
R.C.L.N.D		2971			6580		7333		7089		12000					30,000

RESIDENTIAL BUILDING RECORD

UNIT # 7

PARCEL 78-273-14.15

ADDRESS

SHEET 12 OF 12 SHEETS

DESCRIPTION OF BUILDING

CLASS & SHAPE		CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOM AND FINISH DETAIL						
ARCHITECTURE		Light	Frame	Stucco on	Flat / Pitch	Wiring	Heating	Cooling	ROOMS	FLOORS	FLOOR FINISH	TRIM	INTERIOR FINISH	
TYPE		Sub-Standard	2" x 4" - 16"		Gable / Shed	K.T. / B.X.	Forced / Gravity	Clean'g / Humid.	All	B 1 2	Material / Grade	OP	Walls	Ceilings
NOTE: W/KIT D.S.A		Standard	Sheathing	Siding "x"	Hip / Shed	B.X. / Cable	Gravity	Humid.			Wid-TI A		PLY	OPEN BM
1 Stories		Above-Standard	Concrete Block			Fixtures	X Wall Unit							
Use Design		Special	B.&B. T.&G.		Cut Up	Few / Cheap			Ent Hall					
FOUNDATION		Brick	Shingle	Dormers	X Avg. / X Med.	Floor Unit			Living	1	WU			
X Single		X Concrete	X Floor Joist:	X B.&B. T.&G.	X Gutters	Zone Unit			Dining					
Double		Reinforced	X 18" x 6" x 48"			Central			Bed	1				
Duplex		Brick	2" x " x "	Brick	Shingle	PLUMBING			Bed					
Apartment		Wood	X Sub-Floor	Stone	X Shake MED	Oil Burner								
Flat-Court		X Piers	Concrete Floor	WINDOWS										
Motel				D.H. Casement	Tile Trim	Sink								
Units		Light Heavy	Insulated Ceilings	X Metal Sash	Compo.;	Water Htr.-Auto.	X Fireplace 450"		Kitchen	1	V-TILE			
			Insulated Walls	X Screens	Compo. Shingle	Water-Softner			Drain Bd.		Material: TILE	Lgth: 8 Ft.	Splash: 14"	

CONSTRUCTION RECORD

Permit		Amount	Date	EFFEC. YEAR	APPR. YEAR	NORMAL % GOOD			RATING (E, G, A, F, P)					BATH DETAIL															
No.	For			YEAR	YEAR	Age	Remain'g Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Cupbd	Space Closet	Work-m'nshp	Fl. No.	FINISH		FIXTURES			SHOWER						
																		Floors	Walls	Wc.	La.	Tub	Type	Grade	St.	Q.T.	G.D.	Finish	
				1967	1969	2	53	R55	98	G	G		G				G	1	1	Wid	PLY	1	1	M	A.	1			CEMENT
				1967	1973	6	49	R55	94																				
					1976	9	44	R55	90	G	A	A	A																

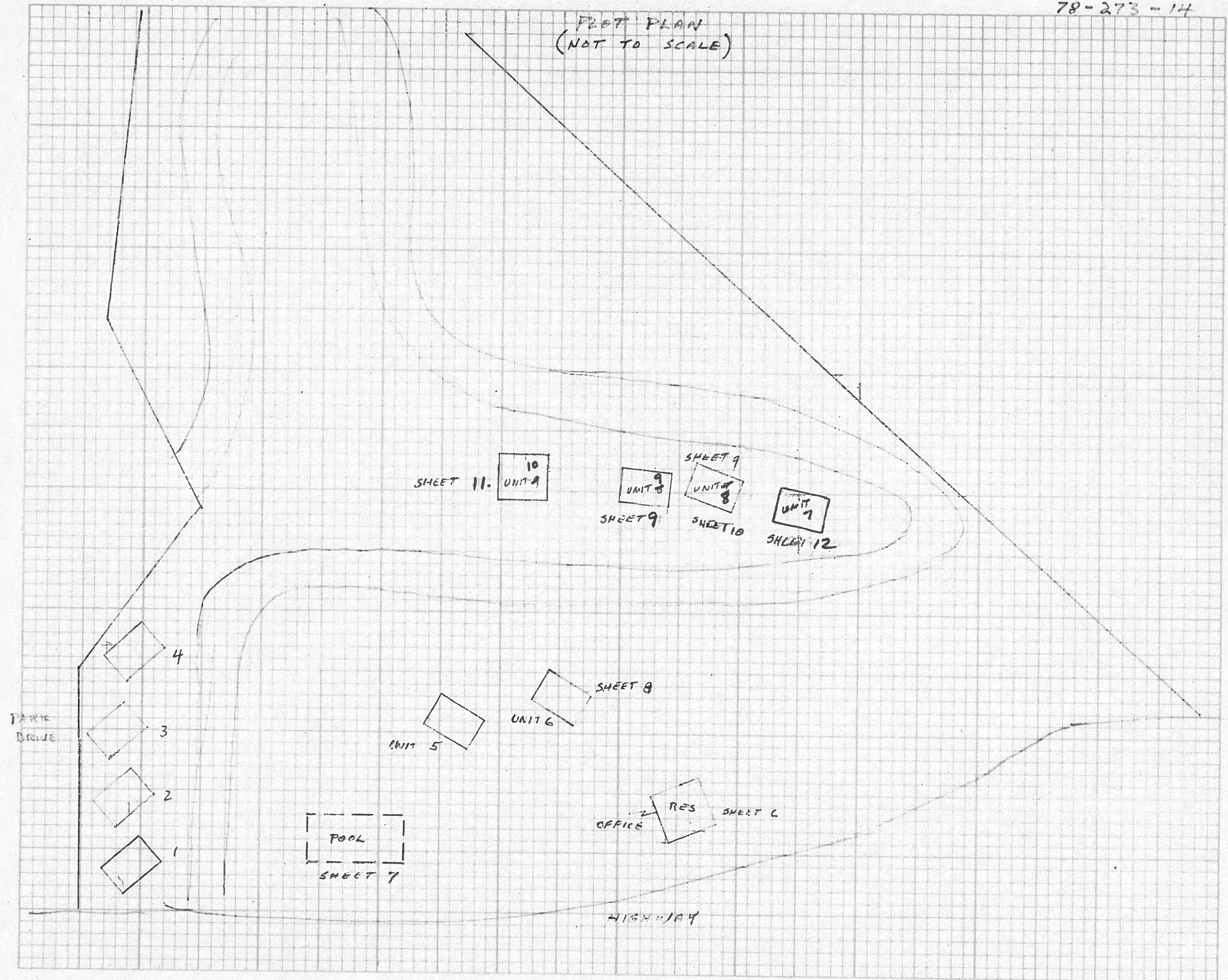
SPECIAL FEATURES

Book Cases	Built-in Beds	Venetian Blinds
Shutters	RANGE	

1969 INDEX 1972 INDEX 1975 INDEX LLOYD KAPP COMPUTATION

Appraiser & Date	1969 INDEX	1972 INDEX	1975 INDEX	LLOYD KAPP COMPUTATION													
Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
M. UNIT	371	12.55	4668	13.14	4875	18.48	6856										
WCP 1/4	83	3.14	260	3.28	272	4.62	383										
F.P.			450		450		750										
HEAT			150		150		250										
B-INS			140		260		100										
C-FLHT PATIO	225					1.50	337										
TOTAL			5668		6007		8676										
NORMAL % GOOD			98		94		90										
R.C.L.N.D			5554		5647		8000										

FLAT PLAN
(NOT TO SCALE)



RES & OFFICE sheet 6 of 12 / POOL, FENCE & BBQ SHEET 7 of 12



78-273-15

LK 2-10-76

APPRAISAL YEAR	1976				
Zoning	X				
Use Code	X				
Reviewed Stamp	✓				
Comp. Sales	X				
Index Stamp	✓				
Income/Exp. Info	✓				
Correlation Sheet	✓				
Folder Cleanup	X				
APPRAISER/DATE	KAPP 3-3-76				

CABINS # 1-3 "TYPICAL"



78-273-15

LK 2-10-76



10/2/21	Sources/Uses of Funds										
USES OF FUNDS	Homekey Award	Bonus HomeKey award for submission before 1/31	Santa Cruz Community Foundation	Santa Cruz County Bank	Santa Cruz County Veterans Memorial Building Board of Trustees	Bonus Homekey for relocation	0	0	0	0	Total Sources/Costs
Project Development Costs											
LAND COST/ACQUISITION											
Land Cost or Value	\$552,500		\$500,000	\$2,397,500							\$3,450,000
Demolition											\$0
Legal											\$0
Land Lease Rent Prepayment											\$0
Total Land Cost or Value	\$552,500	\$0	\$500,000	\$2,397,500	\$0	\$0	\$0	\$0	\$0	\$0	\$3,450,000
Existing Improvements Cost or Value											\$0
Off-Site Improvements											\$0
Total Acquisition Cost	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Total Land Cost / Acquisition Cost	\$552,500	\$0	\$500,000	\$2,397,500	\$0	\$0	\$0	\$0	\$0	\$0	\$3,450,000
Predevelopment Interest/Holding Cost											\$0
Assumed, Accrued Interest on Existing Debt (Rehab/Acq)											\$0
Excess Purchase Price Over Appraisal											\$0
REHABILITATION											
Site Work	\$914,878										\$914,878
Structures	\$1,470,415	\$200,000									\$1,670,415
General Requirements											\$0
Contractor Overhead	\$250,000										\$250,000
Contractor Profit	\$250,000										\$250,000
Prevailing Wages	\$600,000										\$600,000
General Liability Insurance	\$100,000										\$100,000
Urban Greening											\$0
Other Rehabilitation: (Specify)											\$0
Other Rehabilitation: (Specify)											\$0
Other Rehabilitation: (Specify)											\$0
Total Rehabilitation Costs	\$3,585,293	\$200,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$3,785,293
Total Relocation Expenses	\$0				\$25,000	\$25,000					\$50,000
NEW CONSTRUCTION											
Site Work											\$0
Structures	\$400,000										\$400,000
General Requirements											\$0
Contractor Overhead											\$0
Contractor Profit											\$0
Prevailing Wages	\$50,000										\$50,000
General Liability Insurance											\$0
Urban Greening											\$0
Other New Construction: (Specify)											\$0
Other New Construction: (Specify)											\$0
Other New Construction: (Specify)											\$0
Other New Construction: (Specify)											\$0
Other New Construction: (Specify)											\$0
Other New Construction: (Specify)											\$0
Total New Construction Costs	\$450,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$450,000
ARCHITECTURAL FEES											
Design	\$316,000										\$316,000
Supervision	\$50,000										\$50,000
Total Architectural Costs	\$366,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$366,000
Total Survey & Engineering	\$170,207										\$170,207
CONSTRUCTION INTEREST & FEES											
Construction Loan Interest											\$0
Origination Fee											\$0
Credit Enhancement/Application Fee											\$0
Bond Premium											\$0
Cost of Issuance											\$0
Title & Recording											\$0
Taxes											\$0
Insurance											\$0
Employment Reporting											\$0
Other Construction Int. & Fees: (Specify)											\$0
Other Construction Int. & Fees: (Specify)											\$0
Other Construction Int. & Fees: (Specify)											\$0
Other Construction Int. & Fees: (Specify)											\$0
Total Construction Interest & Fees	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
PERMANENT FINANCING											
Loan Origination Fee											\$0
Credit Enhancement/Application Fee											\$0
Title & Recording											\$0
Taxes	\$10,000										\$10,000
Insurance											\$0
Other Perm. Financing Costs: (Specify)											\$0
Other Perm. Financing Costs: (Specify)											\$0
Other Perm. Financing Costs: (Specify)											\$0
Other Perm. Financing Costs: (Specify)											\$0
Total Permanent Financing Costs	\$10,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$10,000
Subtotals Forward	\$5,134,000	\$200,000	\$500,000	\$2,397,500	\$25,000	\$25,000	\$0	\$0	\$0	\$0	\$8,281,500
LEGAL FEES											
Legal Paid by Applicant	\$60,000										\$60,000
Other Attorney Costs: (Specify)											\$0
Other Attorney Costs: (Specify)											\$0
Other Attorney Costs: (Specify)											\$0
Total Attorney Costs	\$60,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$60,000
RESERVES											

10/2/21		Sources/Uses of Funds									
USES OF FUNDS	Homekey Award	Bonus HomeKey award for submission before 1/31	Santa Cruz Community Foundation	Santa Cruz County Bank	Santa Cruz County Veterans Memorial Building Board of Trustees	Bonus Homekey for relocation	0	0	0	0	Total Sources/Costs
	Project Development Costs										
Operating Reserve											\$0
Replacement Reserve	\$10,000										\$10,000
Transition Reserve											\$0
Rent Reserve											\$0
Other Reserve Costs: (Specify)											\$0
Other Reserve Costs: (Specify)											\$0
Other Reserve Costs: (Specify)											\$0
Total Reserve Costs	\$10,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$10,000
CONTINGENCY COSTS											
Construction Hard Cost Contingency	\$403,000										\$403,000
Soft Cost Contingency	\$50,000										\$50,000
Total Contingency Costs	\$453,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$453,000
OTHER PROJECT COSTS											
TCAC App/Allocation/Monitoring Fees											\$0
Environmental Audit	\$15,000										\$15,000
Local Development Impact Fees											\$0
Permit Processing Fees	\$131,000										\$131,000
Capital Fees											\$0
Marketing											\$0
Furnishings	\$100,000										\$100,000
Market Study											\$0
Accounting/Reimbursable	\$12,000										\$12,000
Appraisal Costs	\$15,000										\$15,000
Other Costs: (Consultants)					\$75,000						\$75,000
Other Costs: (Specify)											\$0
Other Costs: (Specify)											\$0
Other Costs: (Specify)											\$0
Other Costs: (Specify)											\$0
Other Costs: (Specify)											\$0
Total Other Costs	\$273,000	\$0	\$0	\$0	\$75,000	\$0	\$0	\$0	\$0	\$0	\$348,000
SUBTOTAL PROJECT COST	\$5,930,000	\$200,000	\$500,000	\$2,397,500	\$100,000	\$25,000	\$0	\$0	\$0	\$0	\$9,152,500
DEVELOPER COSTS											
Developer Overhead/Profit	\$70,000										\$70,000
Consultant/Processing Agent											\$0
Project Administration											\$0
Broker Fees Paid to a Related Party											\$0
Construction Oversight by Developer											\$0
Other Developer Costs: (Specify)											\$0
Total Developer Costs	\$70,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$70,000
Total Project Costs	\$6,000,000	\$200,000	\$500,000	\$2,397,500	\$100,000	\$25,000	\$0	\$0	\$0	\$0	\$9,222,500